

DATE SUBMITTED September 28, 2022
 SUBMITTED BY Community Development Director
 DATE ACTION REQUIRED October 5, 2022

COUNCIL ACTION (X)
 PUBLIC HEARING ()
 REQUIRED
 RESOLUTION (X)
 ORDINANCE 1ST READING ()
 ORDINANCE 2ND READING ()
 CITY CLERK'S INITIALS ()

**IMPERIAL CITY COUNCIL
 AGENDA ITEM**

SUBJECT:	DISCUSSION/ACTION: A RESOLUTION OF THE CITY COUNCIL OF THE CITY IMPERIAL, CALIFORNIA, APPROVING A TWO-YEAR TIME EXTENSION FOR THE ENCANTO ESTATES' VESTING TENTATIVE TRACT MAP		
	1. Adoption of Resolution No 2022-62, Approving a two-year time extension for the Encanto Estates' Vesting Tentative Tract Map		
DEPARTMENT INVOLVED:	Community Development Department		
BACKGROUND/SUMMARY:	See attached Staff Report.		
FISCAL IMPACT: N/A	ADMIN SERV INITIALS		<u>DP</u>
STAFF RECOMMENDATION: Staff recommends approval of Resolution No. 2022-62 subject to Conditions of Approval.	DEPT. INITIALS		<u>OM</u>
MANAGER'S RECOMMENDATION: <i>approve</i>	CITY MANAGER'S INITIALS		<u>HM</u>
MOTION:			
SECONDED: AYES: NAYES: ABSENT:	APPROVED () DISAPPROVED () REFERRED TO:	REJECTED () DEFERRED ()	



Staff Report

Agenda Item No.

To: City of Imperial City Council

From: Othon Mora, Community Development Director

Date: September 27, 2022

Subject: Encanto Estates Vesting Tentative Tract Map Time Extension

Summary:

Applicant:	C. Alex Abatti, Jr.
Project Location:	Southwest corner of Worthington Road & Dogwood Road Assessor's Parcel Number 044-200-011
Request:	Two-year time extension for the Encanto Estates Vesting Tentative Tract Map
Zoning:	Current: Imperial County's A-2U Zone General Agriculture Zone with Urban Overlay Proposed: Residential and Commercial
General Plan:	Current: Proposed: Low-Medium Density Residential; Medium Density Residential; Neighborhood Commercial; Open Space
Environmental:	Environmental Impact Report Negative Declaration with Mitigation Measures
Recommendation:	Staff recommends City Council approval of the Encanto Estates Vesting Tentative Tract Map two-year time extension.

Background/Discussion and Analysis

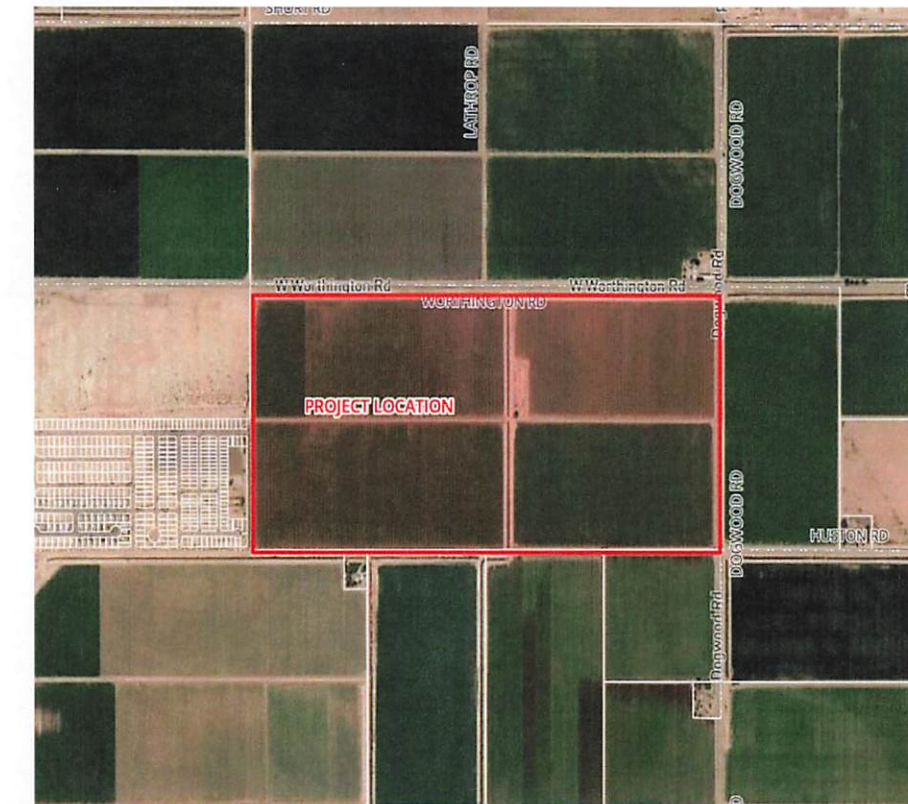
On March 5, 2008, City Council adopted Resolution 2008-04 (Exhibit A) approving the Encanto Estates Vesting Tentative Tract Map for the development of 691 detached single family units; 206 single family duplex units; 199 multi-family 4-plex units; 424 multi-family units; 5.67 acres for commercial use; 39.32 acres of parks and retention basins; and 29.99 acres for school sites on property generally located southwest corner of Worthington Road and Dogwood Road, further

identified as APN 044-200-011. The parcel is within Imperial County's jurisdiction. An annexation application was submitted to Imperial County's Local Area Formation Commission (LAFCO) on December 14, 2006, which has expired. Applicant has submitted a LAFCO Annexation Application (Exhibit B) and is currently updating the required Annexation Map.

The Encanto Estates Vesting Tentative Tract Map (Exhibit C) had an original expiration date of March 5, 2010, two years after the initial approval. Normally the subdivider would either have to record a map in accordance with the conditions of approval or request the City Council to provide a time extension. However, since 2008 the state legislature has passed several bills that automatically extended the expiration date of tentative maps if the expiration dates fell within certain time lines. The Encanto Estates Vesting Tentative Tract Map qualified for the extensions, thus the initial expiration date was automatically extended to September 5, 2022.

On August 19, 2022, C. Alex Abatti, Jr., Trustee of the C. Alex Abatti Jr. Fam Trust submitted an application requesting a time extension for the tentative tract map. Approval of the time extension would result in extending the expiration date to September 5, 2024.

Project Location



Recommendation

Staff recommends City Council approval of the Encanto Estates Vesting Tentative Tract Map two-year time extension.

Attachments

- Resolution 2008-04 – Exhibit A
- LAFCO Annexation Application – Exhibit B
- Encanto Estates Vesting Tentative Tract Map – Exhibit C
- Signed Conditions of Approval
- Resolution 2022-62

RESOLUTION NO. 2022-64

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY IMPERIAL, CALIFORNIA,
APPROVING A TWO-YEAR TIME EXTENSION FOR THE ENCANTO ESTATES'
VESTING TENTATIVE TRACT MAP SUBJECT TO THE ATTACHED CONDITIONS**

WHEREAS, C. Alex Abatti, Jr., Trustee of the C. Alex Abatti Jr., Fam Trust submitted an application for a two-year time extension for the Encanto Estates Vesting Tentative Tract Map; and

WHEREAS, the Encanto Estates Vesting Tentative Tract Map was approved by the City Council on March 5, 2008; and

WHEREAS, the Encanto Estates Vesting Tentative Tract Map proposes the division of land in order to create 691 detached single family units; 206 single family duplex units; 199 multi-family 4-plex units; 424 multi-family units; 5.67 acres for commercial use; 39.32 acres of parks and retention basins; and 29.99 acres for school sites on property described as Tract 108, Township 15 South, Range 14 East, SBM in an unincorporated area of the County of Imperial, State of California according to the official plat thereof, further described as APN 044-200-011; and

WHEREAS, the Encanto Estates Vesting Tentative Tract Map expired on September 5, 2022; and

WHEREAS, upon hearing and considering all testimony and arguments, examining the environmental study, analyzing the information submitted by staff and considering any written and oral comments received, the City Council considered all facts relating to the project; and

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Imperial as follows:

- A) That the foregoing recitations are true and correct; and
- B) That based on the evidence presented, the City Council hereby **APPROVES** the **two-year time extension of the Encanto Estates Vesting Tentative Tract Map**, subject to the conditions of approval outlined in Exhibit A; and
- C) All recommendation made by the City Council are based on the following findings:
 - 1. The project has been reviewed in accordance with the requirements set forth by the City of Imperial for implementation of the California Environmental Quality Act.
 - 2. The project is in compliance with the California Environmental Quality Act, Section 2100 through 21176 of the Public Resources Code.
 - 3. The initial environmental assessment shows that there is no substantial evidence that the proposed Encanto Estates Vesting Tentative Tract Map Time Extension may have a significant impact on the environment.

4. That any sensitive resources located within the area of the project or adjacent to the area of the project will be protected and not be significantly impacted by the project.
5. The proposed Encanto Estates Vesting Tentative Tract Map Time Extension is consistent with the intent of the City of Imperial's General Plan to maintain land use designation consistency within the incorporated area of the City and its sphere of influence.
6. The proposed Encanto Estates Vesting Tentative Tract Map Time Extension is consistent with the policies and the land uses of the existing City of Imperial General Plan.
7. The proposed Encanto Estates Vesting Tentative Tract Map Time Extension is consistent with the objective of the City of Imperial's Zoning Ordinance.

PASSED, ADOPTED AND APPROVED by the City Council of the City of Imperial, this 5th day of October, 2022.

Mayor City Council

ATTEST:

City Clerk

**EXHIBIT A
CONDITIONS OF APPROVAL**

**ENCANTO ESTATES
VESTING TENTATIVE TRACT MAP TIME EXTENSION
APN 044-200-011**

1. The Developer/Applicant shall comply with all local, State and Federal laws, regulations, rules, ordinances, and standards as they pertain to this project, whether specified herein or not. Where conflicts occur, the most stringent shall apply.
2. The Developer/Applicant shall pay all applicable impact and capacity fees, including air quality fees and regional traffic .
3. The Applicant shall agree to defend, indemnify and hold harmless the City of Imperial and its agents, including consultants, officers and employees from any claim, action or proceeding against the City or its agents, including consultants, officers and employees to attack, set aside, void, or annul the approval of the Vesting Tentative Tract Map Time Extension. This indemnification obligation shall include, but not be limited to, damages, costs, expenses, attorney's fees, or expert witness costs that may be asserted by any person or entity, including the Property Owner/Applicant arising out of or in connection with the approval of the Vesting Tentative Tract Map Time Extension, including any claim for private attorney general fees claimed by, or awarded to any party from the City.
4. All conditions of approval for this Vesting Tentative Tract Map Time Extension shall be reprinted and included as a plan sheet(s) with the building permit plan check sets submitted for review and approval. These conditions of approval shall be on, at all times, all grading, landscaping, and construction plans kept on the project site. It is the responsibility of the Applicant to ensure that the project contractor is aware of, and abides by, all conditions of approval. Prior approval from the Planning Department must be received before any changes are constituted in site design, grading, building design, building colors or materials, landscape material, etc.
5. Department Comments
 - Public Services
 - a. Infrastructure improvements shall be brought up to current City standards and specifications prior to build.
 - Police Department
 - b. Security precautions such as sufficient lighting throughout the development, installation of security cameras and other crime prevention measures shall be included in the updated Vesting Tentative Tract Map.
 - Community Development
 - c. Applicant shall submit an Annexation Application to Imperial County Local Agency Formation Commission.

- d. **Conditions of Approval for the Encanto Estates Vesting Tentative Tract Map provided in Resolution 2008-04 Exhibit A are subject to this time extension request.**
- 6. **The provisions of the Conditions of Approval are to run with the land/project and shall bind the current and future owner(s) successor(s) in interest, assignee(s) and/or transferor(s) of said project.**


CONDITIONS OF APPROVAL

ENCANTO ESTATES VESTING TENTATIVE TRACT MAP TIME EXTENSION APN 044-200-011


1. The Developer/Applicant shall comply with all local, State and Federal laws, regulations, rules, ordinances, and standards as they pertain to this project, whether specified herein or not. Where conflicts occur, the most stringent shall apply.
2. The Developer/Applicant shall pay all applicable impact and capacity fees, including air quality fees and regional traffic .
3. The Applicant shall agree to defend, indemnify and hold harmless the City of Imperial and its agents, including consultants, officers and employees from any claim, action or proceeding against the City or its agents, including consultants, officers and employees to attack, set aside, void, or annul the approval of the Vesting Tentative Tract Map Time Extension. This indemnification obligation shall include, but not be limited to, damages, costs, expenses, attorney's fees, or expert witness costs that may be asserted by any person or entity, including the Property Owner/Applicant arising out of or in connection with the approval of the Vesting Tentative Tract Map Time Extension, including any claim for private attorney general fees claimed by, or awarded to any party from the City.
4. All conditions of approval for this Vesting Tentative Tract Map Time Extension shall be reprinted and included as a plan sheet(s) with the building permit plan check sets submitted for review and approval. These conditions of approval shall be on, at all times, all grading, landscaping, and construction plans kept on the project site. It is the responsibility of the Applicant to ensure that the project contractor is aware of, and abides by, all conditions of approval. Prior approval from the Planning Department must be received before any changes are constituted in site design, grading, building design, building colors or materials, landscape material, etc.
5. Department Comments
 - Public Services
 - a. Infrastructure improvements shall be brought up to current City standards and specifications prior to build.
 - Police Department
 - b. Security precautions such as sufficient lighting throughout the development, installation of security cameras and other crime prevention measures shall be included in the updated Vesting Tentative Tract Map.
 - Community Development
 - c. Applicant shall submit an Annexation Application to Imperial County Local Agency Formation Commission.

- d. Conditions of Approval for the Encanto Estates Vesting Tentative Tract Map provided in Resolution 2008-04 Exhibit A are subject to this time extension request.
- 6. The provisions of the Conditions of Approval are to run with the land/project and shall bind the current and future owner(s) successor(s) in interest, assignee(s) and/or transferor(s) of said project.

The undersigned hereby declare and certify that under penalty of perjury that I accept all conditions imposed by the City Council in their approval as outlined above. As the project applicant, I agree to comply with these conditions and all other applicable laws and regulations at all times.



C. Alex Abatti, Jr.
Trustee of the C. Alex Abatti Jr., Fam Trust



Date

EXHIBIT A

RESOLUTION NO. 2008-04

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF IMPERIAL, CALIFORNIA,
APPROVING THE ENCANTO ESTATES VESTING TENTATIVE TRACT MAP**

WHEREAS, Encanto Investors, LLC, submitted an application for a Specific Plan, Annexation, Pre-Zone, General Plan Amendment, and Vesting Tentative Tract Map for certain real property described as:

Tract 108, Township 15 South, Range 14 East, SBM in an unincorporated area of the County of Imperial, State of California, according to the official plat thereof.

Excepting therefrom 1/16th of all gas, oil, or minerals on, in or under said land, as reserved by General American Life Insurance Company by deed recorded March 13, 1937 in Book 453, Page 109, Official Records.

Also excepting therefrom the east 30 feet thereof as granted to the County of Imperial by Deed recorded October 6, 1937 in Book 472, page 94 of Official Records; and

WHEREAS, a duly notified public hearing was held by the Planning Commission on January 9, 2008 and by the City Council on January 16, 2008 and February 20, 2008; and

WHEREAS, the Developer and the Imperial Unified School District mutually agreed to mitigate school impacts through specific actions to be undertaken by the Developer; and

WHEREAS, upon hearing and considering all testimony and arguments, examining the Environmental Impact Report, analyzing the information submitted by staff and considering any written and oral comments received, the City Council considered all facts relating to the Encanto Estates Tentative Tract Map.

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Imperial as follows:

- A) That the foregoing recitations are true and correct; and
- B) That based on the evidence presented at the public hearing, the City Council **APPROVES** the Encanto Estates Vesting Tentative Tract Map, subject to Conditions of Approval outlined in Exhibit A; and
- C) All action taken by the City Council are based on the following findings:
 - a. The project has been reviewed in accordance with the requirements set forth by the City of Imperial for implementation of the California Environmental Quality Act.
 - b. The project is in compliance with the California Environmental Quality Act, Section 2100 through 21176 of the Public Resources Code.
 - c. The Final Environmental Impact Report shows all potentially significant impacts on the environment can be mitigated to a level that is less than significant if all mitigation measures are implemented.

- d. There are no sensitive resources located within the area of the project or adjacent to the area of the project so as to be significantly impacted by the project.
- e. The proposed Vesting Tentative Tract Map is consistent with the intent of the Imperial General Plan to maintain land use designation consistency within the incorporated area of a City's and its sphere of influence.
- f. The proposed Vesting Tentative Tract Map is consistent with the policies and the land uses of the existing City of Imperial General Plan.
- g. The proposed Vesting Tentative Tract Map is consistent with the objective of the City of Imperial Zoning Ordinance.

PASSED, ADOPTED AND APPROVED by the City Council of the City of Imperial, this 5th day of March 2008.



Mayor

ATTEST:



City Clerk

RESOLUTION 2008-04

EXHIBIT A

CONDITIONS OF APPROVAL

for

**ENCANTO ESTATES
VESTING TENTATIVE TRACT MAP**

1. Developer/Applicant shall comply with all local, State and Federal laws, regulations, rules, ordinances, and standards as they pertain to this project, whether specified herein or not. Where conflicts occur, the most stringent shall apply.
2. The Developer/Applicant shall offer for dedication all rights of way, easements, or parcels of land required for both on-site and off-site construction of streets, pipelines, utilities and the storm water retention basin.
3. The Developer/Applicant shall pay all applicable impact and capacity fees, including air quality fees and regional traffic impact fees.
4. The Developer/Applicant shall pay any and all amounts as determined by the City of Imperial to defray all costs for the review of maps, drawings, reports, field investigations, or other activities related to compliance of this project with City ordinances and/or any other laws, regulations, or requirements that apply. No Tract Map shall record until such costs have been paid to the City.
5. All maps, plans, studies, cost estimates, designs and calculations required for this project shall be subject to the review and approval of the City Engineer, Department of Public Works and Department of Community Development prior to submittal for approval to record the Tract Map.
6. All infrastructure improvements shall be constructed, or in lieu thereof, security provided to ensure construction, prior to the recordation of a Tract Map.
7. The Developer shall provide adequate financial assistance to offset the impacts to local law enforcement, fire and school services to ensure the level of service of these departments are not adversely affected by the estimated population increase as a result of the development of this project.
8. The Developer shall comply with the City's Water Master Plan to ensure sufficient volume and flow of water. The Developer shall construct new water mains and storage facilities in the project area as shown in the Encanto Estates Specific Plan and as necessary. All improvements shall be built according to City development standards. In the event that the collection system is improved by the City or another developer, this project shall pay its pro rata share of the cost of improvements. All regional improvements are subject to pro rata fair share reimbursement.

9. The Developer shall comply with the City's Sewer Master Plan to ensure sufficient handling of wastewater. The Developer shall improve the collection system through the construction of new sanitary sewer mains and lift stations as shown in the Encanto Estates Specific Plan where required and in accordance with City development standards. In the event that the collection system is improved by the City or another developer, this project shall pay its pro rata share of the cost of improvements.
10. Developer acknowledges that the potential pace of growth in the City and resulting demand on City services such as water and wastewater may result in such services not being available. Developer acknowledges particular concern with wastewater and agrees that capacity is not allocated until issuance of a building permit. Developer acknowledges that a building permit will not issue unless there is sufficient wastewater capacity based on the total amount of building permits already issued at that time. In order to address a shortage in wastewater capacity, the parties may agree upon the payment of the project's pro rata share for the construction of a new wastewater treatment plant to respond to this project's wastewater demand.
11. The Developer/Applicant shall submit a lighting plan prior to any construction activity. All lighting installed shall be shielded and directed so as to minimize significant off-site glare or adverse light intrusion into neighboring properties. Lighting improvements shall include street lights on all interior streets, exterior streets, at all intersections, at bus stops and at mail kiosks. The lighting plan shall be reviewed and approved by the City of Imperial Planning Department, Building Department and the Imperial County Airport.
12. A Landscaping Plan shall be submitted to the City of Imperial for review and approval prior to the recordation of a Tract Map. Landscaping shall be provided in all parks and retention basins. Where noise walls are required along roadways landscaping shall also be provided. All landscaped areas shall be irrigated with automatic sprinkler systems.
13. Prior to the recording of a Final Map, all current property owners shall petition to form a separate City of Imperial Community Facilities District ("CCFD") in compliance with the City's Land Secured Financing Ordinance.
14. All mechanical equipment and air conditioning equipment shall be installed a minimum of five feet (5') from any property line.
15. The applicant shall effectively screen from view all ducts, vents, meters, air conditioning equipment, and any other mechanical equipment, whether on the structure, on the ground, or on the roof, with materials architecturally compatible with the main structure. Screening details shall be shown on the plans submitted for issuance of building permits, the adequacy of which shall be determined by the Planning Director. All required screening shall be provided prior to occupancy.
16. The location of any pad-mounted transformers shall be subject to approval by the Planning Director prior to issuance of permits by the Building and Safety Division. Such transformers shall be screened by landscaping or contained within an enclosure matching the building and with corrugated metal gates, subject to approval by the Imperial Irrigation District. All transformers shall be shown on the plans submitted for issuance of building permits. The applicant shall attempt to locate transformers at the rear of the site.
17. The project shall be subject to the use standards outlined in the Encanto Estates Specific Plan.

18. The following Conditions of Approval shall apply with regards to school impacts:
 - a. In accordance with action taken by the Imperial Unified School, the Development Impact Fees for schools shall be paid prior to the issuance of each Certificate of Occupancy.
 - b. Water and wastewater stub-outs shall be provided at both school sites.
19. No more than 30 days prior to the start of any construction activity, a qualified California Department of Fish and Game (CDFG) biologist shall survey the site for any active owl burrows in accordance with the CDFG Staff Memo on Burrowing Owl, 1995. Any burrows found shall be identified and flagged. The Developer shall meet with CDFG to ascertain mitigation efforts which could include sheltering in place, passive relocation, installation of artificial burrows, and/or acquiring conservation acreage per CDFG Staff Memo on Burrowing Owls.
20. If construction occurs between February 1 and August 31, a pre-construction burrowing owl survey shall be conducted 30 days prior to the commencement of construction activities. If breeding/nesting activity, construction activity shall not occur within 200 feet (passerines) or 500 feet (raptors) of the active nest until the young birds have fledged and left the nest, as confirmed by a qualified biologist.
21. A Grading and Drainage Plan/Study shall be submitted to the City Engineer for review and approval. The Grading and Drainage Plan/Study shall address property grading and erosion control which shall include the prevention of sedimentation or damage to off-site properties. A Storm Water Pollution Prevention Plan (SWPPP) shall be submitted to the City of Imperial for review and approval. Best Management Practices shall be utilized to minimize or prevent storm water pollution. Prior to the recordation of a Tract Map, the Developer/Applicant shall provide the City with a letter from the Imperial Irrigation District (IID) stating that the plans have been reviewed and approved for the discharge of storm water onto IID facilities.
22. The retention ponds must be designed to drain out within seventy-two (72) hours of any storm event. Retention ponds must be landscaped so as to mitigate fugitive dust. The bottom of the retention ponds shall have a minimum separation with the top of the groundwater table such that the ponds will function in their intended use. Such ponds will not be credited as meeting the park requirement unless approved by the City.
23. Construction sites shall control dust (PM-10) generation through implementation of the construction mitigation measures detailed in Regulation VIII of the Air Pollution Control District's CEQA handbook and as outlined in the Mitigation Monitoring Program.
24. All on-site utilities including power lines, telephone lines, and cable television lines shall be installed underground. In the event that the utility companies, such as the Imperial Irrigation District, determines that on-site utilities cannot be located underground, the Developer/Applicant may install such utilities as needed above ground.
25. The Developer/Applicant shall provide a soils report indicating, among other things, the suitability of the site for the proposed development, specifications for earthwork, design guidelines for slabs and foundations and recommended roadway sections.

26. The conditional approval of the Tentative Subdivision Map shall not constitute the waiver of any requirement of the City's Ordinances or regulations, except where a condition set forth herein specifically provides for a waiver.
27. The Developer/Applicant shall obtain, pay for and comply with all permits from the Imperial Irrigation District, and other applicable agencies for all improvements within, across, or affecting the respective rights of way.
28. All Final Tract Maps shall provide for 10-foot public utility easements adjacent to all street rights of way for underground power, communications and cable television systems.
29. All off-site and on-site improvements shall comply with the City of Imperial Development Standards. Where no standards exist, the improvements shall be completed in accordance with the City Engineer's recommendations.
30. The Developer/Applicant shall comply with all requirements of the Imperial County Fire Department. Such requirements may include, but are not limited to, the location and sizing of fire hydrants, premise identification numbers (address numbers), and roadway access. All residential water pipelines shall be adequately sized to sustain 1,500 gallons per minute (gpm) for two hours plus peak demand in accordance with the latest edition of the National Fire Protection Association (NFPA) Codes and Standards. All commercial pipelines shall be adequately sized to sustain 2,500 gallons per minute (gpm) for four hours during peak demand in accordance with the latest edition of the National Fire Protection Association (NFPA) Codes and Standards. Pipeline sizes shall be the next largest standard size with readily available replacement parts (i.e., 12" pipelines for those identified as 10").
31. The Tentative Subdivision Map shall be valid for a period of two years following the City Council approval and the appeal period. The Developer may request time extensions in accordance with the Subdivision Map Act, but the granting of such time extensions is not automatic and is at the discretion of the City Council.
32. The Developer/Applicant shall record agricultural easements, to put new homeowners on notice regarding the noise, dust, odors and other potential impacts associated with active farming of nearby lands. The Developer/Applicant shall also make homeowners aware of the Imperial County Right to Farm Ordinance when they purchase new homes in the project area.
33. The Tract Map shall include an avigation easement for all lots created. In addition, all lots will be developed and sold with a hold harmless agreement with the City of Imperial and the County of Imperial Airport, and the US Naval Air Facility - El Centro. The avigation easement shall be reviewed and approved by the Imperial County Airport Manager and shall be consistent with the avigation easement recorded for the Encanto Estates Subdivision.
34. The Developer/Applicant shall agree to defend, indemnify and hold harmless the City of Imperial, Imperial County Airport, and the US Naval Air Facility - El Centro and their agents, including consultants, officers and employees from any claim, action or proceeding against the City, County Airport, or Naval Air Facility or their agents, including consultants, officers and employees to attack, set aside, void, or annul the approval of the Tentative Tract Map and associated Zone Change, General Plan Amendment and Mitigated Negative Declaration. This indemnification obligation shall include, but not be limited to, damages, costs, expenses, attorneys fees, or expert witness costs that may be

asserted by any person or entity, including the Developer/Applicant arising out of or in connection with the approval of the Tentative Tract Map and associated Zone Change, General Plan Amendment and Mitigated Negative Declaration, including any claim for private attorney general fees claimed by or awarded to any party from the City, County Airport or Naval Air Facility.

35. All conditions of approval for this Tentative Map shall be reprinted and included as a plan sheet(s) with the building permit plan check sets submitted for review and approval. These conditions of approval shall be on, at all times, all grading, landscaping, and construction plans kept on the project site. It is the responsibility of the applicant to ensure that the project contractor is aware of, and abides by, all conditions of approval. It is the responsibility of the applicant to ensure that the project landscape contractor is aware of, and adheres to, the approved landscape and irrigation plans. Prior approval from the Planning Department must be received before any changes are constituted in site design, grading, building design, building colors or materials, landscape material, etc.
36. All mitigation measures outlined in the Encanto Estates Environmental Report are hereby incorporated and made conditions of approval whether restated herein or not.
37. All residential development within the project site shall be constructed using building materials and techniques such as dual pane windows, and increased insulation to decrease interior noise levels within dwelling areas to 45 dba or lower.
38. The Developer shall implement all improvements for deficient intersections and deficient roadway segments listed in the Final Environmental Impact. All required improvements shall be subject to fair share reimbursement based on the pro rata share of the project's impacts.
39. The following improvements shall be completed:
 - a. The Developer shall widen the south half of Worthington Road (Barioni Boulevard) from Cross Avenue to Dogwood Road to major arterial standards. All required improvements on Worthington Road (Barioni Boulevard) shall be completed during Phase 1 of the project as shown on Figure 9-A of the Encanto Estates Specific Plan. No Certificates of Occupancy shall be released for the last 100 residential units of Phase 1 until all improvements on Worthington Road (Barioni Boulevard) are completed.
 - b. The Developer shall construct the west half of Dogwood Road from Worthington Road (Barioni Boulevard) to the southern project boundary to major arterial standards consistent with the recommendations of the Central Imperial County Regional Traffic Impact Study.
 - c. The Developer shall install traffic signals and associated improvements at the intersection of Dogwood Road and Worthington Road (Barioni Boulevard).
 - d. The Developer shall construct Cross Avenue to secondary arterial standards from Worthington Road (Barioni Boulevard) to the southern project boundaries.

All roadway improvements shall include a 10: 1 taper where improvements join existing roadways. All required improvements shall be subject to fair share reimbursement based on the pro rata share of the project's impacts. In the event that said improvements are

completed by the City or another developer, this project shall pay its pro rata share of the cost of improvements.

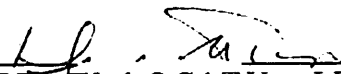
40. Driveway access shall be limited to right-in/right-out on Dogwood Road and Worthington Road (Barioni Boulevard).
41. The Developer shall install automatic flush valves at the terminus of all cul-de-sacs.
42. Within 30 days of Council approval, the Developer/Applicant shall submit a digital copy of the Vesting Tentative Tract Map in AutoCAD 2005 or later format. All Final Maps shall also be submitted in paper and digital formats.
43. The Developer shall provide infrastructure stub-outs to the property line of both school sites.
44. No more than 500 residential building permits shall be issued until such time as a Fire Station is located east of the railroad tracks. However, if there is no such Fire Station as at the time that 500 residential building permits have been issued, the developer, in its discretion, may choose to provide a location for a Fire Station within the Encanto Estates project boundary (which such location shall be acceptable to the Fire Department) in exchange for valuable consideration from the City and in order to be entitled to the issuance of the remaining building permits to complete the Encanto Estates project.

STATE OF CALIFORNIA)
COUNTY OF IMPERIAL)ss
CITY OF IMPERIAL)

I, the undersigned, City Clerk of the City of Imperial, DO HEREBY CERTIFY that the foregoing Resolution No. 2008-04 was duly and regularly adopted at a regular meeting of the City Council of the City of Imperial held on the 5th day of March 2008, by the following vote:

AYES: BRELAND, SAMPSON, AND DALE
NAYES: NONE
ABSENT: COX
ABSTAIN: GRAN

MOTION CARRIED 3-0



DEBRA J. COX CITY CLERK
CITY OF IMPERIAL, CALIFORNIA



APPLICATION

RECEIVED
 SEP 28 2022
 Imperial County
 LAFCO

PETITION FOR PROCEEDINGS PURSUANT TO THE CORTESE-KNOX-HERTZBERG LOCAL GOVERNMENT REORGANIZATION ACT OF 2000

The undersigned hereby petition(s) the Local Agency Formation Commission of Imperial County for approval of a proposed change of organization, and stipulate(s) as follows:

OWNER INFORMATION	
NAME Alex Abatti, Jr.	COMPANY Abatti Companies
MAILING ADDRESS 2015 Silsbee	TELEPHONE NUMBER (760)482-9420
CITY, STATE, ZIP El Centro, CA 92243	EMAIL ADDRESS aochoa@abatti.com
APPLICANT INFORMATION <i>IF DIFFERENT FROM THE OWNER</i>	
NAME Encanto Investors, LLC	COMPANY Abatti Companies
MAILING ADDRESS 2015 Silsbee Road	TELEPHONE NUMBER (760) 482-9420
CITY, STATE, ZIP El Centro, CA 92243	EMAIL ADDRESS aochoa@abatti.com
PROJECT INFORMATION	
NAME OF PROPOSAL Encanto Estates	DATE 09/26/2022
PROJECT ADDRESS SEC Cross Road & Worthington Road	APN(S) 044-200-011-001
CITY, STATE, ZIP Imperial, CA 92251	TOTAL LAND AREA (ACRES) 315.70
THIS PROPOSAL IS MADE PURSUANT TO CALIFORNIA GOVERNMENT CODE (COMMENCING WITH SECTION 56000, CORTESE-KNOX-HERTZBERG LOCAL GOVERNMENT REORGANIZATION ACT OF 2000).	
1 PROPOSED CHANGE(S) OF ORGANIZATION:	
<input checked="" type="checkbox"/> ANNEXATION <input type="checkbox"/> SPHERE OF INFLUENCE <input type="checkbox"/> OTHER <input type="checkbox"/> DETACHMENT <input type="checkbox"/> CONSOLIDATION <input type="checkbox"/> EXTENSION OF SERVICES <input type="checkbox"/> INCORPORATION <input type="checkbox"/> FORMATION OF _____	
2 NAME OF THE CITY/SPECIAL DISTRICT BEING AFFECTED Imperial, California	
3 THE PROPOSED BOUNDARIES OF THE TERRITORY(IES) INCLUDED IN THE PROPOSAL ARE AS DESCRIBED IN THE EXHIBIT(S) ATTACHED HERETO AND BY THIS REFERENCE INCORPORATED HEREIN. <input checked="" type="checkbox"/> YES. BOUNDARY EXHIBITS ARE ATTACHED	

EXHIBIT B

4	PLEASE LIST ANY OTHER DOCUMENTS BEING SUBMITTED WITH THE APPLICATION (EXCEPT THOSE ALREADY REQUIRED BY LAFCO). <u>Indemnification Agreement, Annexation Map</u>
5	THE TERRITORY(IES) INCLUDED IN THE PROPOSAL IS/ARE <input checked="" type="checkbox"/> UNINHABITED <input type="checkbox"/> INHABITED (12 OR MORE REGISTERED VOTERS)
6	CURRENTLY, THE TERRITORY(IES) INCLUDED IN THE PROPOSAL IS/ARE: <input type="checkbox"/> DEVELOPED <input type="checkbox"/> UNDEVELOPED
7	IS THIS PROPOSAL CONSISTENT WITH THE SPHERE OF INFLUENCE OF THE AFFECTED CITY AND/OR DISTRICT? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
8	PLEASE DESCRIBE IN DETAIL THE REASONS FOR THE PROPOSED CHANGE OF ORGANIZATION (ANNEXATION, DETACHMENT, ETC.) USE ATTACHED SHEET IF NECESSARY.
9	THE PROPOSED CHANGE OF ORGANIZATION IS REQUESTED SUBJECT TO THE FOLLOWING TERMS AND CONDITIONS: <u>Conditions of Approval are set by the City of Imperial.</u>
10	WOULD THIS PROPOSAL CREATE AN ISLAND OF UNINCORPORATED TERRITORY? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO IF YES, PLEASE EXPLAIN: <u>N/A</u>
11	IS THERE A GOOD LIKELIHOOD OF A SIGNIFICANT INCREASE IN POPULATION IN THE SUBJECT AREA WITHIN THE NEXT TEN YEARS? IN UNINCORPORATED AREAS: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO IN INCORPORATED AREAS: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO ESTIMATED ADDITIONAL POPULATION: <u>To be Determined</u>
12	WHAT IS THE EXISTING ZONING? <u>Agriculture</u> WHAT IS THE PROPOSED ZONING? <u>R-1, R-2 and R-3, Residential, Park and School</u>
13	HAS OR IS THE AREA BEEN BEING PRE-ZONED? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO WHAT IS THE PRE-ZONING CLASSIFICATION? <u>Agriculture</u> WHAT DATE WAS THIS PRE-ZONING? <u>Unknown</u>

EXHIBIT B

14	WHAT IS THE PLANNED GENERAL PLAN DESIGNATION OF THE AREA BY THE AFFECTED CITY? The planned General Plan Designation for this development is Specific Plan; A planned unit development consisting of Single Family and Multi Family residential uses, as well as land for commercial, school, park and retention basin.
15	DESCRIBE ANY SPECIAL LAND USE CONCERNS EXPRESSED IN THE ABOVE PLANS N/A
16	SPECIFY ANY AND ALL EXISTING LAND USES <u>Agriculture</u> _____ _____ WHAT ARE THE PROPOSED LAND USES? _____ DESCRIBE YOUR PROJECT IN DETAIL _____ _____ _____
17	DOES THE APPLICATION CONTAIN 100% WRITTEN CONSENT OF EACH PROPERTY OWNER IN THE SUBJECT TERRITORY? <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO
18	WILL THE ANNEXED TERRITORY BE LIABLE FOR ITS SHARE OF EXISTING BONDED INDEBTEDNESS? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO
19	WILL THE ANNEXED TERRITORY BE INCLUDED WITHIN ANY PARTICULAR TAX DIVISION OR ZONE OF THE ANNEXING TERRITORY? PLEASE SPECIFY. N/A
20	IF THE PROPOSAL INCLUDES THE CONSOLIDATION OF SPECIAL DISTRICTS, THE PROPOSED NAME OF THE CONSOLIDATED DISTRICT IS N/A
21	IF AN INCORPORATION IS INCLUDED IN THE PROPOSAL (A) THE NAME PROPOSED FOR THE NEW CITY IS N/A (B) PROVISIONS ARE REQUESTED FOR APPOINTMENT OF (i) CITY MANAGER <input type="checkbox"/> YES <input type="checkbox"/> NO (ii) THE CITY CLERK AND CITY TREASURER <input type="checkbox"/> YES <input type="checkbox"/> NO

EXHIBIT B

22	IF THE FORMATION OF A NEW DISTRICT(S) IS INCLUDED IN THE PROPOSAL (A) THE PRINCIPAL ACT(S) UNDER WHICH SAID DISTRICT(S) IS/ARE PROPOSED TO BE FORMED IS/ARE _____ _____ (B) THE PROPOSED NAME(S) OF THE NEW DISTRICT(S) IS/ARE _____ _____ (C) THE BOUNDARIES OF THE PROPOSED NEW DISTRICT(S) ARE AS DESCRIBED IN EXHIBITS _____ INCORPORATED HEREIN
23	THE PERSON(S) SIGNING THIS PETITION HAVE SIGNED AS (CHECK ONLY ONE) <input type="checkbox"/> REGISTERED VOTERS <input checked="" type="checkbox"/> OWNERS OF LAND
24	AS REQUIRED, THE FOLLOWING ITEMS ARE ENCLOSED WITH THIS APPLICATION: <input checked="" type="checkbox"/> DEPOSIT <input checked="" type="checkbox"/> LEGAL DESCRIPTION <input checked="" type="checkbox"/> INDEMNIFICATION AGREEMENT <input checked="" type="checkbox"/> ANNEXATION MAP (10 COPIES)

[Signature]
9/27/22

APPLICANT SIGNATURE DATE

Please complete the names and addresses of additional persons (not including the owner/applicant previously listed at the beginning of the application) who are requesting to have furnished copies of the agenda and Executive Officer's Report and/or mailed notices of the hearing of this proposal. Please attach additional pages if necessary.

PERSON 1	REQUESTS	<input type="checkbox"/> AGENDA COPIES <input type="checkbox"/> HEARING PACKAGE HARD COPY	<input type="checkbox"/> PUBLIC NOTICE OF HEARING <input type="checkbox"/> HEARING PACKAGE ON CD
NAME	COMPANY		
MAILING ADDRESS	TELEPHONE NUMBER		
CITY, STATE, ZIP	EMAIL ADDRESS		

PERSON 2	REQUESTS	<input type="checkbox"/> AGENDA COPIES <input type="checkbox"/> HEARING PACKAGE HARD COPY	<input type="checkbox"/> PUBLIC NOTICE OF HEARING <input type="checkbox"/> HEARING PACKAGE ON CD
NAME	COMPANY		
MAILING ADDRESS	TELEPHONE NUMBER		
CITY, STATE, ZIP	EMAIL ADDRESS		

EXHIBIT B

NOTICE:

*Prior to the effective date of any jurisdictional change (i.e. annexation, detachment, etc.) the governing bodies of all agencies whose service areas or service responsibilities would be altered by such change shall meet to determine the amount of property tax revenues to be exchanged between and among such affected agencies. Notwithstanding any other provisions of law, no such jurisdictional change shall become effective until each county and city included in such negotiation agrees, **BY RESOLUTION**, to accept the negotiated exchange of property tax revenues.*

NOTE:

The resolutions referred to above shall be attached to this application prior to filing with the Local Agency Formation Commission. The Executive Officer of the Local Agency Formation Commission shall not issue a Certificate of Completion (COC) until such resolution is filed with LAFCO.

Wherefore, petitioner(s) request(s) that proceedings be taken in accordance with the provisions of Section 56000, et seq. of the Government Code and herewith affix signature(s) as follows:

Chief Petitioners (not to exceed three):

PRINT NAME

DATE

SIGNATURE

RESIDENCE ADDRESS

PRINT NAME

DATE

SIGNATURE

RESIDENCE ADDRESS

PRINT NAME

DATE

SIGNATURE

RESIDENCE ADDRESS

EXHIBIT B

FOR LAFCO USE ONLY

APPLICATION RECEIVED BY

DATE RECEIVED

CHECK THE DOCUMENTS SUBMITTED WITH THE APPLICATION:

- | | |
|--|---|
| <input type="checkbox"/> DEPOSIT | <input type="checkbox"/> LEGAL DESCRIPTION |
| <input type="checkbox"/> INDEMNIFICATION AGREEMENT | <input type="checkbox"/> ANNEXATION MAP (10 COPIES) |

PROJECT NO. ASSIGNED

DATE ACCEPTED

EXHIBIT B

RECEIVED
SEP 28 2022



Imperial County
LAFCO

INDEMNIFICATION AGREEMENT

As part of this application, applicant and real party in interest, if different, agree to defend, indemnify, hold harmless, and release the Imperial County Local Agency Formation Commission, its agents, officers, attorneys, and employees (including consultants) from any claim, action, or proceeding brought against any of them, the purpose of which is to attack, set aside, void, or annul the approval of this application or adoption of the environmental document which accompanies it. This indemnification obligation shall include, but not be limited to, damages, costs, expenses, attorney fees, or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the approval of this application, whether or not there is concurrent negligence on the part of the Imperial County Local Agency Formation Commission, its agents, officers, attorneys, or employees (including consultants).

If any claim, action, or proceeding is brought against Imperial County Local Agency Formation Commission, its agents, officers, attorneys, or employees, to attack, set aside, void, or annul the approval of the application or adoption of the environmental document which accompanies it, then the following procedures shall apply:

1. The Executive Officer shall promptly notify the Commission of any claim, action or proceeding brought by an applicant challenging the Commission's action. The Commission, its agents, attorneys and employees (including consultants) shall fully cooperate in the defense of that action.
2. The Commission shall have final determination on how to best defend the case and may defend it with in-house counsel, or by retaining outside counsel. In either case applicant shall be fully responsible for all costs incurred. Applicant may request to provide his or her own counsel to defend the case, however prior written approval of the Commission shall be obtained. Said independent counsel shall work with LAFCO counsel to provide a joint defense and shall include a complete defense of LAFCO to the satisfaction of the Commission.

Executed in El Centro, California on September, 27th, 2022

applicant	real party in interest / property owner (if different from applicant)
name (print): <u>Encanto Investors, LLC</u>	name (print): _____
title: <u>Owner - Alex Abatti Jr.</u>	title: _____
signature: <u>[Signature]</u>	signature: _____
mailing address: <u>2015 Silsbee Rd.</u> <u>El Centro, CA 92243</u>	mailing address: _____ _____

FOR LAFCO USE ONLY

Received By: _____ Date received: _____

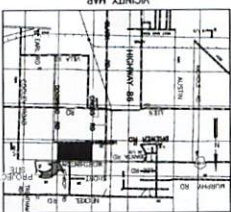
Project No. _____

JHDEB'S LAFCO Forms 2014 Forms Indemnification Agreement.doc Updated 05/30/2014

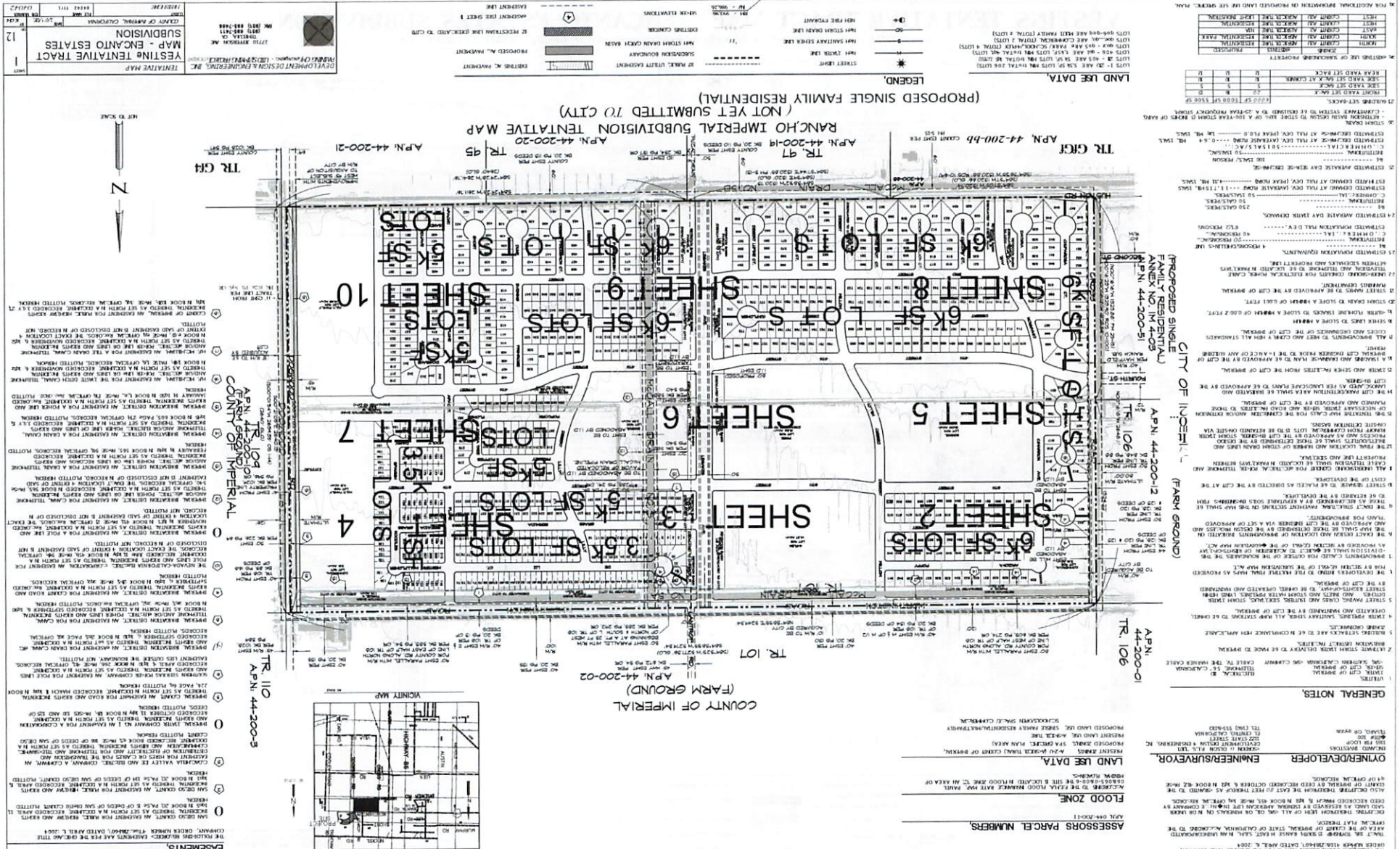
EXHIBIT C

VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION

A MASTER PLANNED COMMUNITY IN THE CITY OF IMPERIAL, COUNTY OF IMPERIAL, STATE OF CALIFORNIA



COUNTY OF IMPERIAL
(FARM GROUND)



LAND USE DATA

LOT #	AREA	USE
1-10	6K SF LOTS	RESIDENTIAL
11-15	5K SF LOTS	RESIDENTIAL
16-20	3.5K SF LOTS	RESIDENTIAL
21-25	6K SF LOTS	RESIDENTIAL
26-30	5K SF LOTS	RESIDENTIAL
31-35	3.5K SF LOTS	RESIDENTIAL
36-40	6K SF LOTS	RESIDENTIAL
41-45	5K SF LOTS	RESIDENTIAL
46-50	3.5K SF LOTS	RESIDENTIAL
51-55	6K SF LOTS	RESIDENTIAL
56-60	5K SF LOTS	RESIDENTIAL
61-65	3.5K SF LOTS	RESIDENTIAL
66-70	6K SF LOTS	RESIDENTIAL
71-75	5K SF LOTS	RESIDENTIAL
76-80	3.5K SF LOTS	RESIDENTIAL
81-85	6K SF LOTS	RESIDENTIAL
86-90	5K SF LOTS	RESIDENTIAL
91-95	3.5K SF LOTS	RESIDENTIAL
96-100	6K SF LOTS	RESIDENTIAL

GENERAL NOTES:

1. THE TRACT MAP IS SUBJECT TO THE CITY OF IMPERIAL'S MASTER PLANNED COMMUNITY DEVELOPMENT PLAN AND THE CITY OF IMPERIAL'S ZONING ORDINANCE.
2. THE TRACT MAP IS SUBJECT TO THE CITY OF IMPERIAL'S MASTER PLANNED COMMUNITY DEVELOPMENT PLAN AND THE CITY OF IMPERIAL'S ZONING ORDINANCE.
3. THE TRACT MAP IS SUBJECT TO THE CITY OF IMPERIAL'S MASTER PLANNED COMMUNITY DEVELOPMENT PLAN AND THE CITY OF IMPERIAL'S ZONING ORDINANCE.
4. THE TRACT MAP IS SUBJECT TO THE CITY OF IMPERIAL'S MASTER PLANNED COMMUNITY DEVELOPMENT PLAN AND THE CITY OF IMPERIAL'S ZONING ORDINANCE.
5. THE TRACT MAP IS SUBJECT TO THE CITY OF IMPERIAL'S MASTER PLANNED COMMUNITY DEVELOPMENT PLAN AND THE CITY OF IMPERIAL'S ZONING ORDINANCE.
6. THE TRACT MAP IS SUBJECT TO THE CITY OF IMPERIAL'S MASTER PLANNED COMMUNITY DEVELOPMENT PLAN AND THE CITY OF IMPERIAL'S ZONING ORDINANCE.
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9. THE TRACT MAP IS SUBJECT TO THE CITY OF IMPERIAL'S MASTER PLANNED COMMUNITY DEVELOPMENT PLAN AND THE CITY OF IMPERIAL'S ZONING ORDINANCE.
10. THE TRACT MAP IS SUBJECT TO THE CITY OF IMPERIAL'S MASTER PLANNED COMMUNITY DEVELOPMENT PLAN AND THE CITY OF IMPERIAL'S ZONING ORDINANCE.

VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION

APN: 44-200-01, 44-200-02, 44-200-03, 44-200-04, 44-200-05, 44-200-06, 44-200-07, 44-200-08, 44-200-09, 44-200-10, 44-200-11, 44-200-12, 44-200-13, 44-200-14, 44-200-15, 44-200-16, 44-200-17, 44-200-18, 44-200-19, 44-200-20, 44-200-21, 44-200-22, 44-200-23, 44-200-24, 44-200-25, 44-200-26, 44-200-27, 44-200-28, 44-200-29, 44-200-30, 44-200-31, 44-200-32, 44-200-33, 44-200-34, 44-200-35, 44-200-36, 44-200-37, 44-200-38, 44-200-39, 44-200-40, 44-200-41, 44-200-42, 44-200-43, 44-200-44, 44-200-45, 44-200-46, 44-200-47, 44-200-48, 44-200-49, 44-200-50, 44-200-51, 44-200-52, 44-200-53, 44-200-54, 44-200-55, 44-200-56, 44-200-57, 44-200-58, 44-200-59, 44-200-60, 44-200-61, 44-200-62, 44-200-63, 44-200-64, 44-200-65, 44-200-66, 44-200-67, 44-200-68, 44-200-69, 44-200-70, 44-200-71, 44-200-72, 44-200-73, 44-200-74, 44-200-75, 44-200-76, 44-200-77, 44-200-78, 44-200-79, 44-200-80, 44-200-81, 44-200-82, 44-200-83, 44-200-84, 44-200-85, 44-200-86, 44-200-87, 44-200-88, 44-200-89, 44-200-90, 44-200-91, 44-200-92, 44-200-93, 44-200-94, 44-200-95, 44-200-96, 44-200-97, 44-200-98, 44-200-99, 44-200-100.

EXHIBIT C

VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION

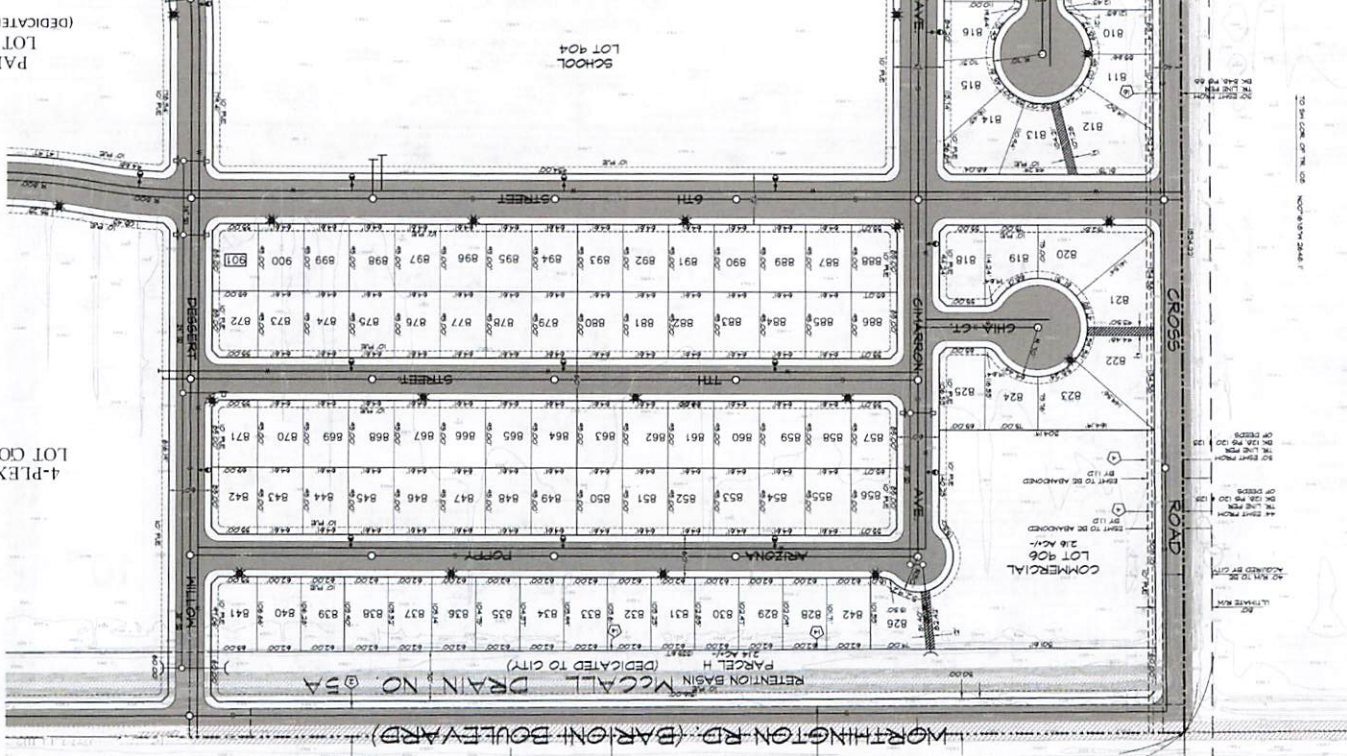
A MASTER PLANNER COMMUNITY IN THE CITY OF IMPERIAL, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

T. 101

Sheet 1	Sheet 2	Sheet 3	Sheet 4	Sheet 5

CURRENT SHEET LOCATION: 2/23

1:50,000 (1:50,000) 1:50,000 (1:50,000)



SEE SHEET 3

PARK LOT C 703
(DEDICATED TO CITY)

4-PLEX LOT C05

SCHOOL LOT 404

COMMERCIAL LOT 406

SEE SHEET 5



DEVELOPMENT DESIGN & ENGINEERING, INC.
 2776 JEFFERSON AVE.
 IMPERIAL, CA 92521
 TEL: (619) 833-1411
 FAX: (619) 833-1444

VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION

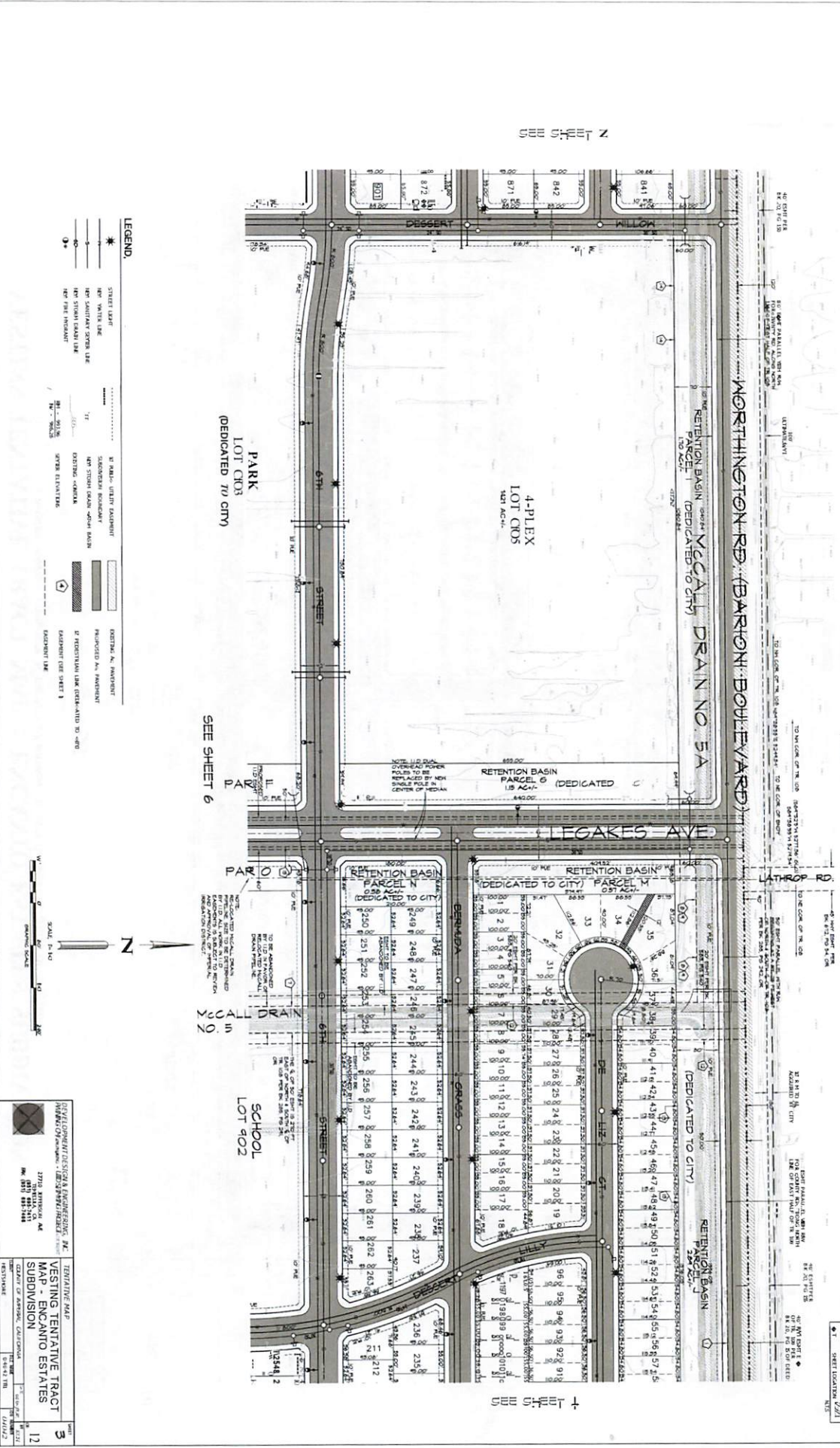
12

2

EXHIBIT C

VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION
 A MASTER PLANNED COMMUNITY IN THE CITY OF IMPERIAL, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

TR 107



LEGEND

- STREET LAYOUT
- NEW WALKWAY
- NEW SANITARY SEWER LINE
- NEW STORM DRAIN LINE
- NEW FIRE TRENCH
- EXISTING WALKWAY
- EXISTING SANITARY SEWER LINE
- EXISTING STORM DRAIN LINE
- EXISTING FIRE TRENCH
- EXISTING UTILITY EASEMENT
- PROPOSED WALKWAY
- PROPOSED SANITARY SEWER LINE
- PROPOSED STORM DRAIN LINE
- PROPOSED FIRE TRENCH
- PROPOSED UTILITY EASEMENT
- PROPOSED EASEMENT (SEE SHEET 1)

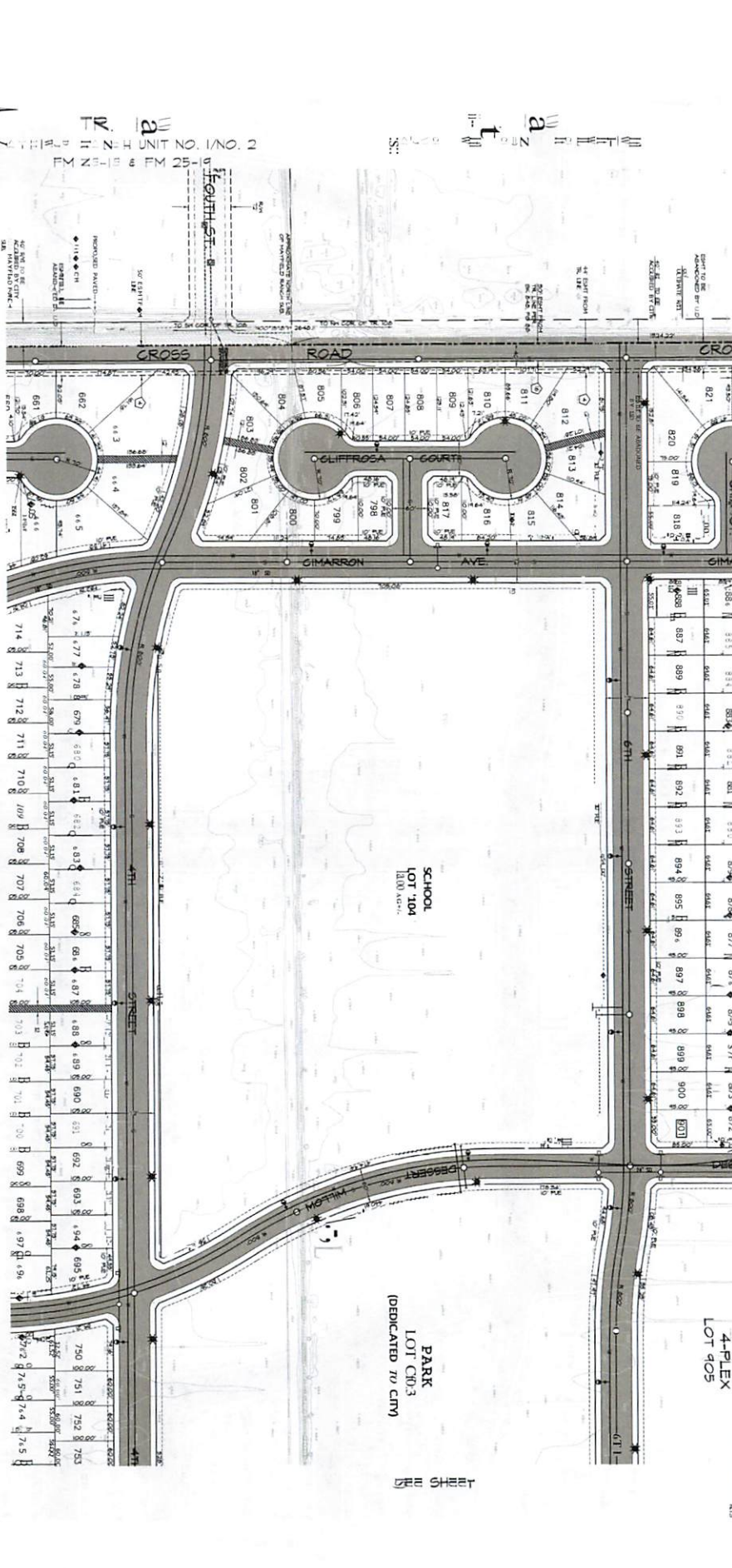
ENCANTO ESTATES SUBDIVISION A MASTER PLANNED COMMUNITY IN THE CITY OF IMPERIAL, COUNTY OF IMPERIAL, STATE OF CALIFORNIA	
TRACT MAP NO. 107 2010 APRIL 15	TRACT MAP NO. 107 2010 APRIL 15
PREPARED BY BAKER & CO. ENGINEERS 2010 APRIL 15	3 12

SHEET 3 - SHEET 4
SHEET 5 - SHEET 6
SHEET 7 - SHEET 8
SHEET 9 - SHEET 10
SHEET 11 - SHEET 12
SHEET 13 - SHEET 14

EXHIBIT C

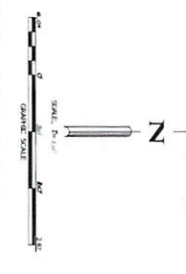
VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION
 A MASTER PLANNED COMMUNITY IN THE CITY OF MERCED, COUNTY OF MERCED, STATE OF CALIFORNIA

SEE SHEET 2



SEE SHEET 8

- LEGEND:**
- SHEET LINE
 - NEW FINISH LINE
 - NEW SANITARY SEWER LINE
 - NEW STORM SEWER LINE
 - NEW FIRE MAINLINE
 - NEW WATER USE IMPROVED
 - NEW WATER USE IMPROVED PER HAYWARD CODE
 - EXISTING UTILITY FACILITY
 - EXISTING ROADWAY
 - NEW STORM DRAIN CATCH BASIN
 - EXISTING CURB
 - OPEN CONDUITS
 - EXISTING AC PAVEMENT
 - IMPROVED AC PAVEMENT
 - EXISTING SIDEWALK
 - IMPROVED SIDEWALK (DEDICATED TO CITY)
 - EXISTING SIDEWALK
 - IMPROVED SIDEWALK PER HAYWARD CODE



DEVELOPMENT DESIGN & ENGINEERING, INC.
 2715 JEFFERSON AVE
 SUITE 200
 MERCED, CA 95365
 TEL: 209.526.1111
 FAX: 209.526.1112

TENTATIVE MAP
 VESTINS TENTATIVE TRACT
 MAP - ENCANTO ESTATES
 SUBDIVISION
 COUNTY OF MERCED, CALIFORNIA

DATE: 12/11/11
 SHEET NO. 3
 TOTAL SHEETS: 12

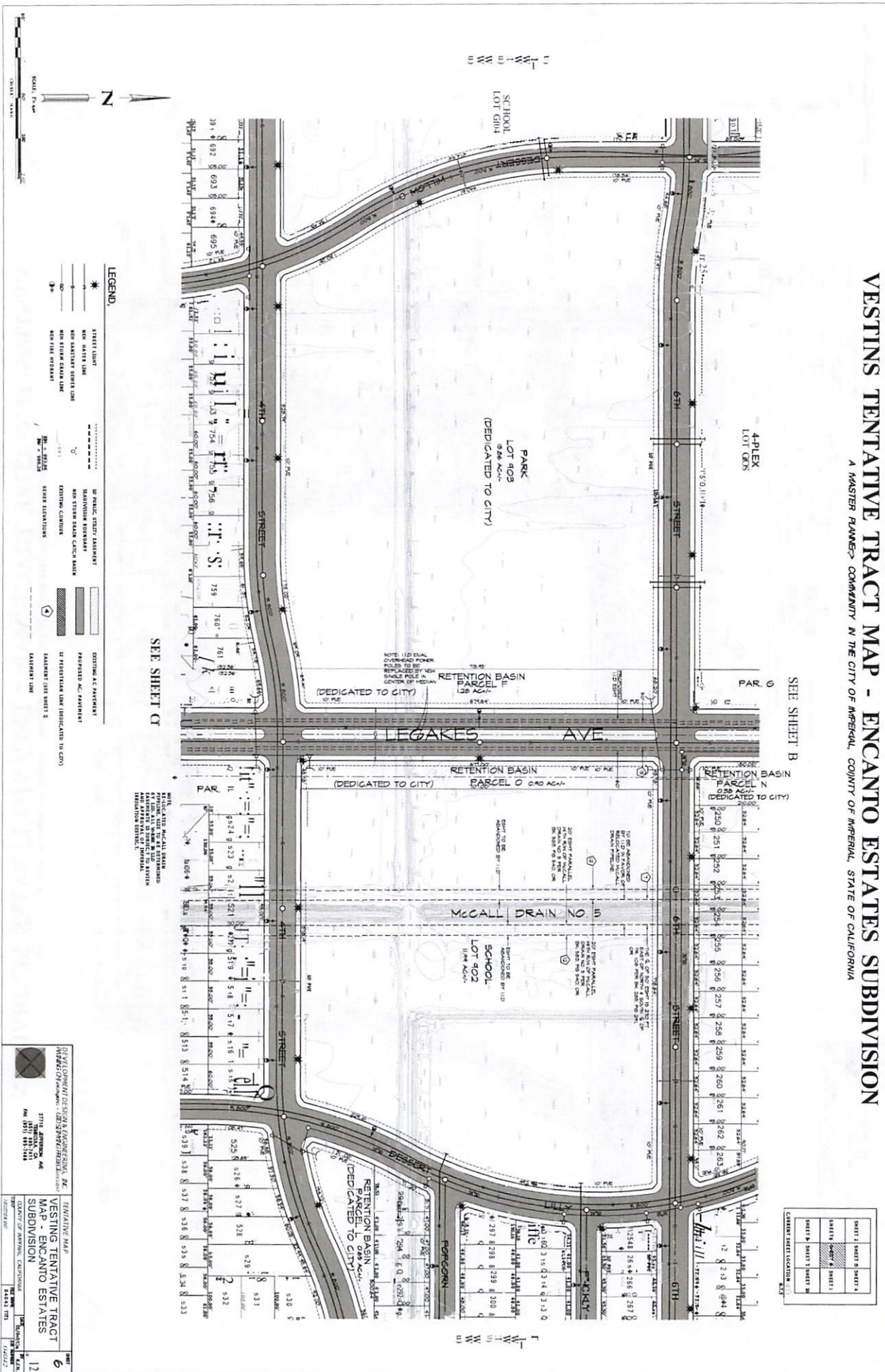
SHEET 2	SHEET 3	SHEET 4
SHEET 5	SHEET 6	SHEET 7
SHEET 8	SHEET 9	SHEET 10
SHEET 11	SHEET 12	SHEET 13

CONTRACT SHEET LOCATION (E.T.)
 12/11/11

EXHIBIT C

VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION

A MASTER PLANNED COMMUNITY IN THE CITY OF IMPERIAL, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

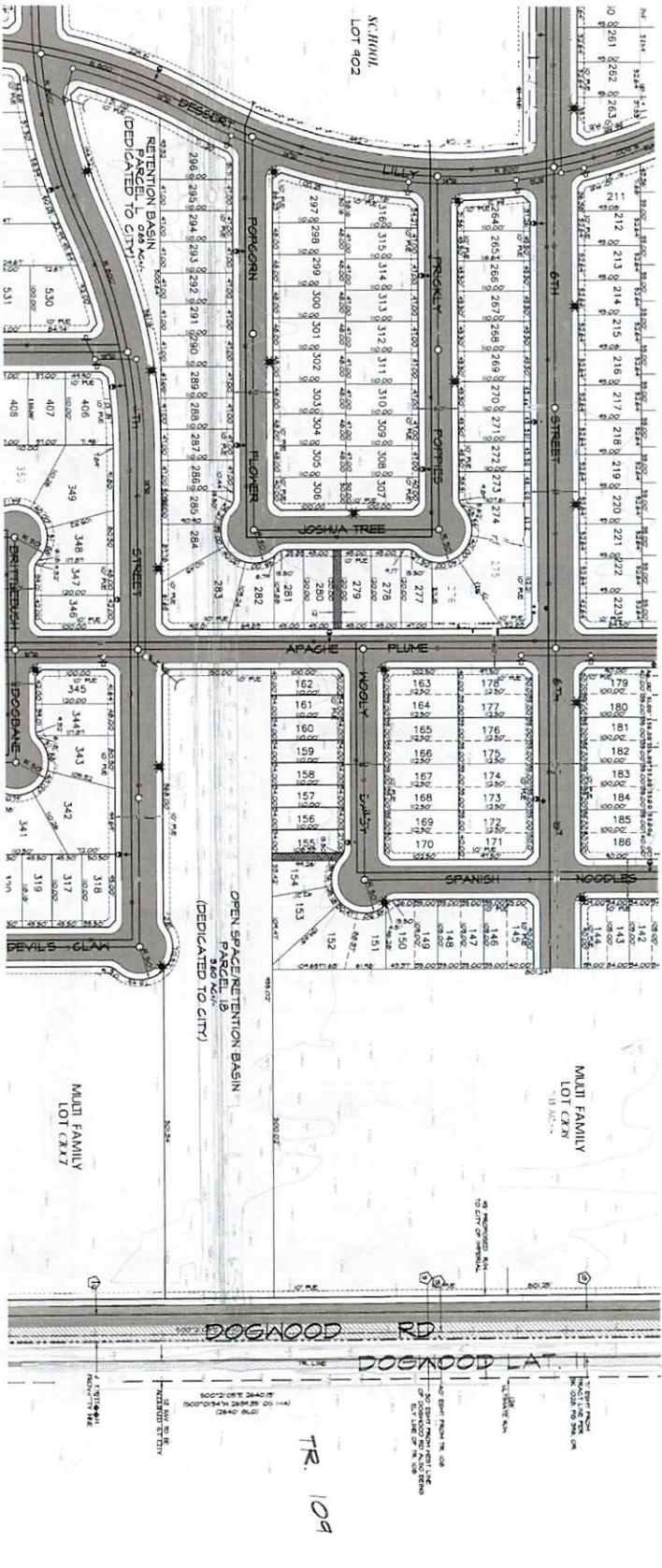


SEE SHEET B	SEE SHEET A
SEE SHEET C	SEE SHEET D
SEE SHEET E	SEE SHEET F
SEE SHEET G	SEE SHEET H
SEE SHEET I	SEE SHEET J
SEE SHEET K	SEE SHEET L
SEE SHEET M	SEE SHEET N
SEE SHEET O	SEE SHEET P
SEE SHEET Q	SEE SHEET R
SEE SHEET S	SEE SHEET T
SEE SHEET U	SEE SHEET V
SEE SHEET W	SEE SHEET X
SEE SHEET Y	SEE SHEET Z

DEVELOPER: AMERICALAND DESIGN & ENGINEERING, INC.
 3717 JARDON AVE
 IMPERIAL, CA 92521
 PHONE: (619) 451-3344
 PROJECT: VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION
 DATE: 12/6/2023

EXHIBIT C

VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION
 A MASTER PLANNED COMMUNITY IN THE CITY OF IMPERIAL, COUNTY OF IMPERIAL, STATE OF CALIFORNIA



SEE SHEET 10

SEE SHEET 4

- LEGEND:**
- SHEET NAME
 - NEW RIGHT-OF-WAY
 - NEW SANITARY SEWER LINE
 - NEW FIRE HYDRANT
 - EXISTING AC. FURNISHMENT
 - PROPOSED AC. FURNISHMENT
 - EXISTING SANITARY SEWER LINE
 - PROPOSED SANITARY SEWER LINE
 - EXISTING FIRE HYDRANT
 - PROPOSED FIRE HYDRANT

<p>STATE GOVERNMENT DESIGN & ENGINEERING, INC. 2008 S. MICHIGAN ST. SUITE 200 IMPERIAL, CALIFORNIA 92521 TEL: (619) 931-1111 FAX: (619) 931-1111</p>	<p>TENTATIVE MAP VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION</p> <p>CITY OF IMPERIAL, CALIFORNIA</p>
--	---

SHEET 1	SHEET 2	SHEET 3	SHEET 4
SHEET 5	SHEET 6	SHEET 7	SHEET 8
SHEET 9	SHEET 10	SHEET 11	SHEET 12

CURRENT SHEET LOCATION: 2222

TR. 109

EXHIBIT C

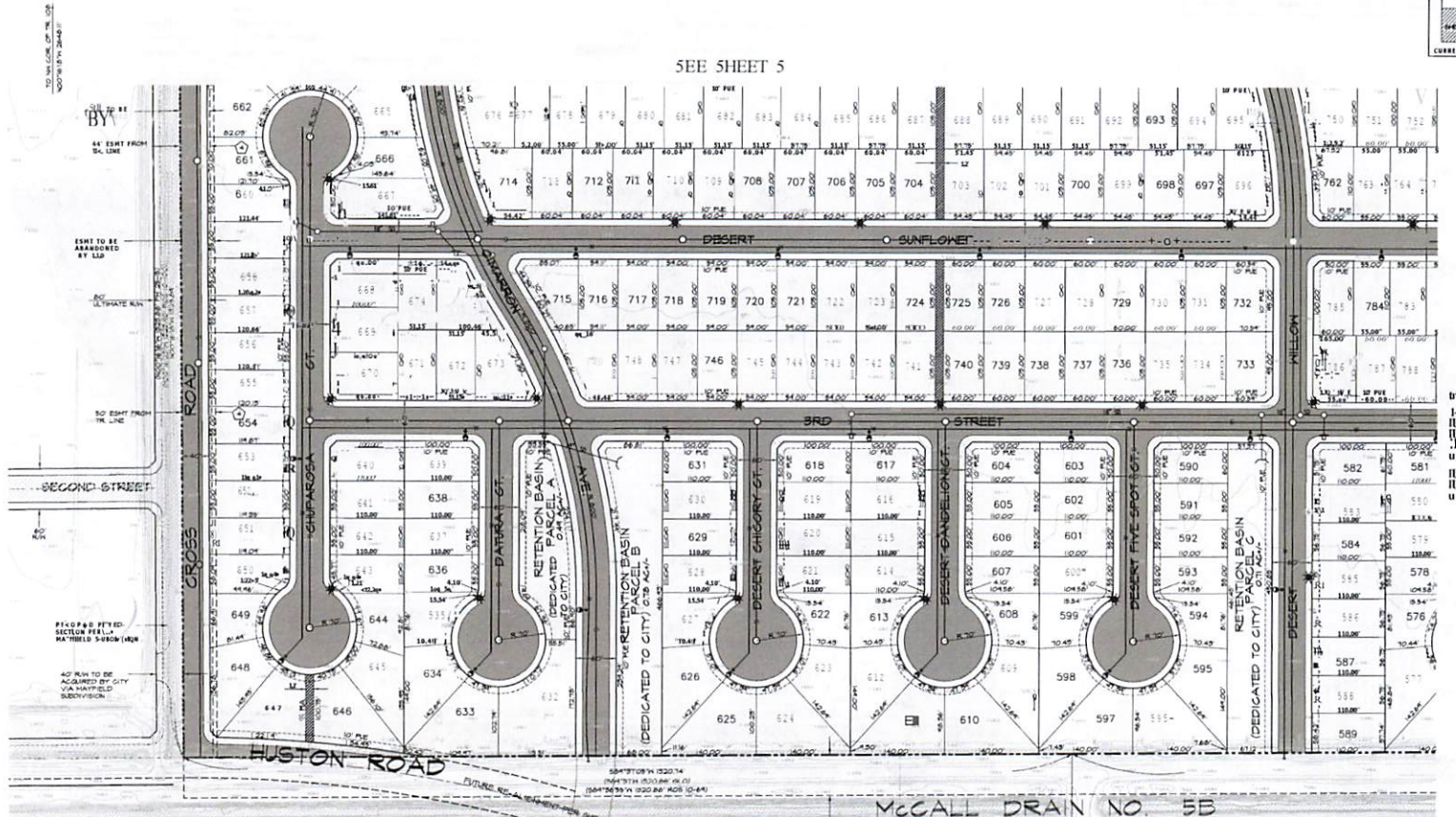
VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION

A MASTER PLANNED COMMUNITY IN THE CITY OF IMPERIAL, COUNTY OF IMPERIAL, STATE OF CALIFORNIA

SHEET 2	SHEET 3	SHEET 4
SHEET 5	SHEET 6	SHEET 7
SHEET 8	SHEET 9	SHEET 10
CURRENT SHEET LOCATION 5		

SEE SHEET 5

TR. 106
 NINE
 I
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 LINE
 Z
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 DI
 I



TR. 99

ROEL 5-13

TR. 97

LEGEND:

- | | | |
|--|---|---|
| <ul style="list-style-type: none"> 12' SET LIGHT NEW YATER LINE NEW SANITARY RITZER LINE NEW STORM DRAIN LINE NEW FIRE HYDRANT | <ul style="list-style-type: none"> 12' PUBLIC UTILITY EASEMENT SUBDIVISION BOUNDARY NEW STORM DRAIN CATCH BASIN EXISTING CONTOUR WATER ELEVATIONS | <ul style="list-style-type: none"> EXISTING AC PAVEMENT PROPOSED AC PAVEMENT 12' PEDESTRIAN LINK / (DEDICATED TO CITY) EASEMENT / (SEE SHEET 2) EASEMENT LINE PROPOSED AC PAVEMENT PER MAYFIELD SUBDIVISION |
|--|---|---|



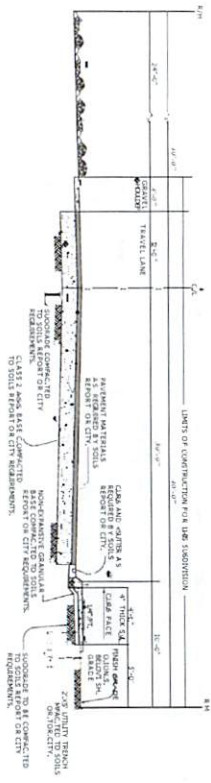
	DEVELOPMENT DESIGN & ENGINEERS, INC. PLANNING DIVISION - LAND DEVELOPMENT GROUP 37710 JEFFERSON AVE TEMECULA, CA (951) 945-7411 FAX (951) 945-7466	TENTATIVE MAP VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION
	COUNTY OF IMPERIAL, CALIFORNIA DATE: 10/20/2020 SHEET NO: 04042 (11) SHEET TOTAL: 12 DRAWN BY: [Signature] CHECKED BY: [Signature]	

EXHIBIT C

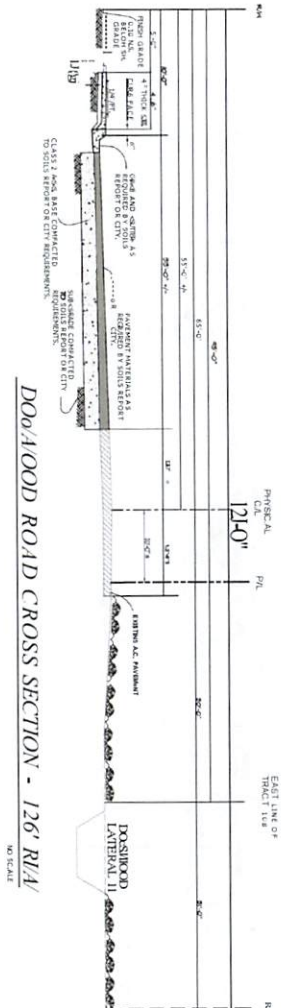
VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION A MASTER PLANNED COMMUNITY IN THE CITY OF IMPERIAL, COUNTY OF IMPERIAL, STATE OF CALIFORNIA



CROSS ROAD FROM HUSTON RD. TO NORTH LINE OF MAYFIELD RANCH - 80' R/W
NO SCALE



TYPICAL INTERIOR STREET 1/2 SECTION - 60' R/W
NO SCALE



DOGWOOD ROAD CROSS SECTION - 126' R/W
NO SCALE

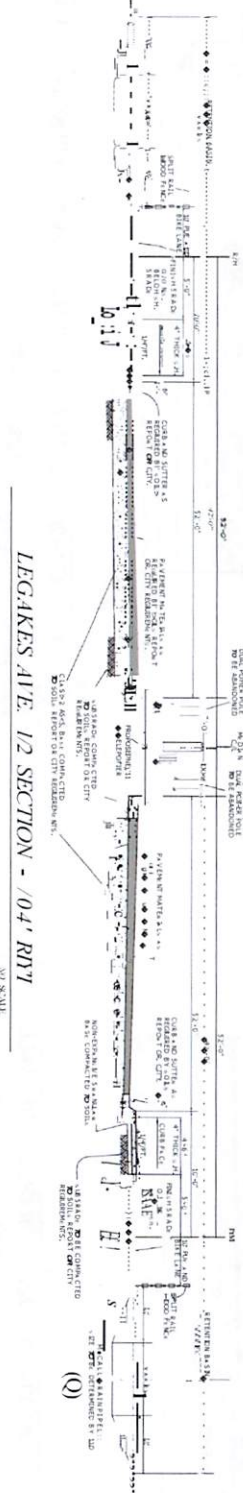
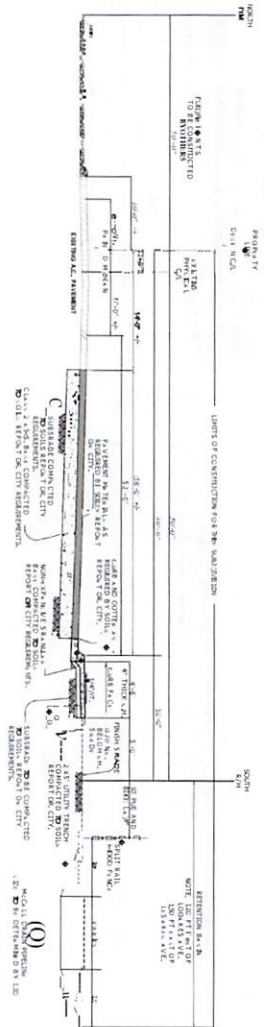


DEVELOPMENT DESIGN & ARCHITECTURE, INC. 1415-C SAN DIEGO AVE. SUITE 100 SAN DIEGO, CA 92108 TEL: 619-591-1111	TECHNICAL MAP VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION	DATE 11/12/22
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EXHIBIT C

VESTINS TENTATIVE TRACT MAP - ENCANTO ESTATES SUBDIVISION

A MASTER PLANNER COMMUNITY IN THE CITY OF IMPERIAL, COUNTY OF IMPERIAL, STATE OF CALIFORNIA



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TENTATIVE MAP VESTINS TENTATIVE TRACT MAP ENCANTO ESTATES SUBDIVISION	
DATE OF RECORDING:	DATE OF SALE:
12/12/11	08/02/12