



Staff Report

Agenda Item No. D-1

To: City of Imperial Planning Commission

From: Othon Mora, Community Development Director

Date: August 19, 2021

**Subject: Amendment of Conditional Use Permit Request #18-07
Medical and Adult Use Cannabis Cultivation Facility
2433 Marshall Avenue, Imperial, CA 92251**

Summary:

| | |
|--------------------------|--|
| Applicant: | March and Ash |
| Project Location: | 2433 Marshall Avenue; Imperial, CA 92251 |
| Zoning: | C-2 Commercial General |
| General Plan: | Commercial |
| Environmental: | Categorically Exempt under Section 15301 |
| Recommendation: | Approve Amendment of Conditional Use Permit #18-07 |

Background

March and Ash is proposing to amend Conditional Use Permit 18-07 to allow the cultivation of adult-use and medicinal cannabis in a currently vacant 7,721 square foot suite located at 2433 Marshall Avenue. The project proposes to include 2,688 square feet of canopy space, which includes three "flower rooms" and one "mothers' room". The remaining area of the facility will be segmented into rooms specified for the unique operational functions associated with the cultivation business, which include a "Dry Room", "Fertigation Room", "Blow-Off Room", "Trim Room", and "Cure Room", as well as a secure check-in area and storage/receiving room.

The Mother Room is a dedicated area of the facility for cannabis plant "mothers". These mother plants are used to produce all new clones and seedlings. Daily tasks will consist of monitoring climate levels and maintaining the overall health of the plants, including the mothers, clones and seedlings. This includes

transplanting clones and seedlings to larger pots, deleafing or thinning plants as well as maintaining the overall operational upkeep of the room. Dedicated employees shall maintain a clean/disinfected room and will be tasked with monitoring lighting fixtures, fan positions and overall upkeep of the equipment in the mother Room to ensure proper function.

The Flower Room(s) house all plants that are about to flower or are currently flowering. All plants in these specific rooms will be verified female cannabis plants and will be producing cannabis flowers for harvest. Daily tasks in the Flower Room consist of monitoring the environment and maintaining the overall health of the flowering plants. Employees will maintain the overall health of the plants by deleafing and trimming excess material, repositioning branches and removing any "duds" from the Flower Rooms to ensure the overall health of the plants in the room is maintained. Dedicated employees will be tasked with ensuring these rooms are properly sanitized and that all equipment is functioning properly.

The Dry Room will be used monthly once plants from a Flower Room are harvested. The Dry Room will be climate controlled and monitored by management. A moving rack system will be deployed in the Dry Room that will be used to hang plants for drying. When the Dry Room is in-use, tasks will include checking on plants daily, monitoring the environment in the room, adjusting racks to be evenly spaced throughout the room, adjusting fans to achieve proper air movement, and bringing plants in from the Flower room and out to Trim Room. After the harvested flowers have been adequately dried in the Dry Room, flowers will be taken to the Trim Room where dedicated employees begin the process of manicuring the flowers and placing them in food grade storage for the curing process.

The Fertigation Room will house all the reservoirs, pumps and controllers that will assist in feeding all the rooms that hold plants. All equipment shall be monitored to ensure proper function. Daily tasks include switching out containers of base nutrients, cleaning out reservoirs weekly to avoid any build up, and monitoring water filters and quality of water produced.

The cure room will house the finished flowers after they have been trimmed and will be stored in food grade containers for the duration of the curing process. The cure room will be climate controlled and maintained for cleanliness and organization. The Cure Room will be accessed during the post-harvest phase, trimming time and post trimming.

At least two employees will be on-site every day during business hours, in addition to the security personnel that will remain on-site at all times. At certain times, particularly during harvesting, up to 10 employees may be on-site during business hours. Anticipated employee breakdown assumes 10-12 total employees, including (1) Head Cultivator, (2) Managers, (2) full-time employees, and (5) part-time employees to be utilized during harvesting.

In its first year of operations, March and Ash anticipates that it will cultivate approximately 500 pounds of cured cannabis flower. In its second year and moving forward, assuming a full year of operation, March and Ash anticipates cultivating approximately 1200 pounds of cured cannabis flower yearly. Anticipated amount of cannabis flower to be produced per harvest will vary, however it is projected that 80-120 pounds of cured cannabis flower per Flower Room will be produced every 4-5 weeks.

Project Location



Discussion/Analysis

The subject site at 2433 Marshall Avenue is currently zoned C-2 Commercial General. This Zoning designation is intended as an area for the location of highway-oriented retail service and wholesale commercial activities such as; restaurant, theatre, health clubs, and for neighborhood shopping centers which provide retail business service and office facilities for the convenience of residents of the neighborhood. Section 24.05.120.B.35 of the Imperial Zoning Ordinance lists Medical and Adult Cannabis Use as a use subject to a Conditional Use Permit.

Evaluation

The Zoning Ordinance provides flexibility in the regulation of uses to ensure that unusual characteristics of certain uses are properly addressed in furtherance of the Imperial Zoning Ordinance. Section 24.19.340 of the City of Imperial Zoning Ordinance requires that the Commission make specific findings be made when reviewing a CUP. The required findings are listed below in ***bold italics***, followed by an evaluation.

- 1. That the proposed location, size, design, and operating characteristics of the proposed use is in accord with the Title and Purpose of this Ordinance, the Purpose of the zone in which the site is located, the Imperial General Plan, and the development policies and standard of the City.***

The subject site is located within C-2 Commercial General. Marsh and Ash will not interfere or conflict with the purposes of the zone.

- 2. That the location, size, design, and operating characteristics of the proposed use will be compatible with and will not adversely affect or be materially detrimental to adjacent uses, residents, buildings, structures, or natural resources with***

consideration given to those items listed in Section 24.19.340.B of the Imperial Zoning Ordinance.

The proposed amendment is ideal for the facility. To the west of the project site there is the Imperial Airport, and to the north, east and south there are commercial facilities. The project will be compatible with the adjacent land uses and will not adversely affect any single-family residents.

- 3. That the proposed location, size, design, and operating characteristics of the proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.***

The project is very limited in nature, and as such, will not be detrimental to the public health, safety, or welfare. The proposed project is required to mitigate traffic and any odors.

- 4. That the proposed Conditional Use will comply with each of the applicable provisions of the Zoning Ordinance, except for any approved Variance.***

The proposed Cultivation Facility will comply with all provisions of the Zoning Ordinance.

Environmental Compliance

The project is categorically exempt from the California Environmental Quality Act (CEQA) under Section 15301 of the Guidelines.

Recommendation

Staff recommends the Planning Commission conduct a public hearing to receive comments for and against the project. Unless sufficient evidence to the contrary is presented at the public hearing, Staff recommends approval of Resolution No. PC2021-11 approving an amendment of Conditional Use Permit to allow for a Medical Cannabis Cultivation Facility at 2433 Marshall Road subject to the following conditions on Exhibit A Conditions of Approval.

Respectfully Submitted

Othon Mora, MCM, CBO
Community Development Director

Attachments: Resolution No. PC2021-11 with Conditions of Approval
Project Site Plan
Building Plans
Resolution No. PC 2018-20 with Conditions of Approval

EXHIBIT A

CONDITIONS OF APPROVAL

AMENDMENT OF CONDITIONAL USE PERMIT 18-07 FOR THE OPERATION OF A MEDICAL AND ADULT USE CANNABIS CULTIVATION FACILITY

1. This Amendment of Conditional Use Permit 18-07 is granted for a Medical and Adult Use Cannabis Cultivation Facility located at 2433 Marshall Road; Imperial, CA 92251 and shall only be valid so long as the California State issued Medical Cannabis Cultivation License is valid.
2. Enclosed cannabis cultivation occupancy classification will differ from the cannabis mercantile use. Imperial County Fire Department is requiring that either a license C-16 contractor and/or a license fire protection engineer evaluate the current fire sprinkler system for its availability to provide adequate protection. A report shall be provided to Imperial County Fire Department for review and approval.
3. Automatic smoke removal systems shall be required for each cultivation area. Smoke removal shall be designed and installed as per California Fire Code and NFPA. Plans shall be submitted to Imperial County Fire Department for approval.
4. Automatic fire alarm system will be required to be integrated with the existing fire alarm system and shall be installed and as per California Fire Code and NFPA
5. Egress plan shall be submitted to Imperial County Fire Department for review and approval
6. Gas systems will need to be monitor and installed as per California Fire Code and NFPA. Plans shall be submitted for review and approval before install.
7. March and Ash shall allow the Community Development, Imperial Police and Imperial County Fire Departments access for inspections, training, and facility familiarization of the facility at any given time.
8. 24-hour fixed-camera video surveillance shall be required at the cultivation facility and digital storage in the cloud or other off-site method of recordings shall be available for 90 days after recording. Further, that recording is of a sufficient quality to provide identification of any individual being recorded; that the surveillance covers every interior area and room and adjacent perimeter areas within a minimum of 50 feet; and that the City of Imperial Police Department or other City authorized department shall have 24-hour remote access to the surveillance system.
9. A Security Plan shall be provided, reviewed and approved by the Imperial Police Department and Community Development Department prior to installation.

RESOLUTION PC2018-20

**A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF IMPERIAL
APPROVING A CONDITIONAL USE PERMIT FOR THE OPERATION OF A
MEDICAL CANNABIS DISPENSARY FACILITY AT
2433 MARSHAL ROAD; IMPERIAL, CA 92251**

(MARCH AND ASH-BLAKE MARCHAND)

WHEREAS, Blake Marchand submitted a Conditional Use Permit application to allow for a Medical Cannabis Dispensary Facility at 2433 Marshall Road; and

WHEREAS, a duly notified public hearing was held by the Planning Commission on December 12, 2018; and


WHEREAS, upon hearing and considering all testimony and arguments, analyzing the information submitted by staff and considering any written comment received, the Planning Commission considered all facts relating to the request for a Conditional Use Permit.

NOW THEREFORE, BE IT RESOLVED by the Planning Commission of the City of Imperial as follows:

- A) That the foregoing recitations are true and correct; and
- B) The project has been reviewed in accordance with the requirements set forth by the City of Imperial for implementation of the California Environmental Quality Act; and
- C) There are no sensitive resources located within the area of the project or adjacent to the area of the project so as to be significantly impacted by the project; and
- D) That based on the evidence presented at the public hearing, the Planning Commission hereby determines that the project is Categorical Exempt under Section 15301 of the California Environmental Quality Act; and
- E) That the Medical Cannabis Dispensary is consistent with those uses allowed in the C-2 (Commercial General) Zone.
- F) That based on the evidence presented at the public hearing, the Planning Commission hereby **APPROVES** the Conditional Use Permit #18-07 (CUP 18-07) to allow for the operation of a Medical Cannabis Dispensary Facility, subject to the conditions of approval outlined in COAs (18-07) and based on the following findings:

1. That the proposed location, size, design, and operating characteristics of the proposed use is in accord with the Title and Purpose of this Ordinance, the Purpose of the zone in which the site is located, the Imperial General Plan, and the development policies and standard of the City.
2. That the location, size, design, and operating characteristics of the proposed use will be compatible with and will not adversely affect or be materially detrimental to adjacent uses, residents, buildings, structures, or natural resources with consideration given to those items listed in Section 24.19.340.B of the Imperial Zoning Ordinance.
3. That the proposed location, size, design, and operating characteristics of the proposed use and the conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or materially injurious to properties or improvements in the vicinity.
4. That the proposed Conditional Use will comply with each of the applicable provisions of the Zoning Ordinance, except for an approved Variance.

PASSED, ADOPTED AND APPROVED by the Planning Commission of the City of Imperial, this 12th day of December 2018.



Geoff Holbrook,
Vice-Chairman

ATTEST:



Debra Jackson,
City Clerk/Planning Secretary

**STATE OF CALIFORNIA)
COUNTY OF IMPERIAL)ss
CITY OF IMPERIAL)**

I, Debra Jackson, the undersigned, City Clerk/Secretary of the City of Imperial Planning Commission, DO HEREBY CERTIFY that the foregoing Resolution No. PC 2018-20 was duly and regularly adopted at a Regular meeting of the City of Imperial Planning Commission held on the 12th day of December 2018, by the following vote:

AYES: GUILLEN, HAUGH, HOLBROOK, MCDADE, AND LUCAS
NAYES: NONE
ABSTAIN: NONE
ABSENT: NONE

MOTION CARRIED 5-0




DEBRA JACKSON, CITY CLERK/SECRETARY
CITY OF IMPERIAL PLANNING COMMISSION

STATE OF CALIFORNIA)
COUNTY OF IMPERIAL)ss
CITY OF IMPERIAL)

I, Debra Jackson, the undersigned, City Clerk/Secretary of the City of Imperial Planning Commission, DO HEREBY CERTIFY that the foregoing Resolution No. PC 2018-20 was duly and regularly adopted at a Regular meeting of the City of Imperial Planning Commission held on the 12th day of December 2018, by the following vote:

AYES: GUILLEN, HAUGH, HOLBROOK, MCDADE, AND LUCAS
NAYES: NONE
ABSTAIN: NONE
ABSENT: NONE

MOTION CARRIED 5-0



DEBRA JACKSON, CITY CLERK/SECRETARY
CITY OF IMPERIAL PLANNING COMMISSION

CUP (18-07)
2433 Marshall Road; Imperial, CA 92251
APN#: 044-701-013

1. This Conditional Use Permit is granted for a Medical Cannabis Dispensary Facility located at 2433 Marshall Road; Imperial CA 92251. This Conditional Use Permit shall only be valid so long as the California State issued Medical Cannabis Dispensary License is valid.
2. The Public Services Department would like to reserve the right, to require additional traffic mitigation measures and/or studies as needed for 18 months (counting from the first day of business).
3. The provisions of this Conditional Use Permit are to run with the business named “Marsh and Ash”, owned by “Blake Marchand”, and is only valid so long as the project operates at 2433 Marshall Road, Imperial, CA 92251. If any of these conditions change, the Conditional Use Permit will not be valid.
4. “March and Ash” Company is to incorporate a type of “Community Outreach” plan that could help educate the citizens of the City of Imperial and that may give a better understanding of the medicinal products your company will be offering, Beginning from the date of operation. Potentially have a booth at the City of Imperials’ designated “Market Day” events.
5. No cannabis or cannabis odors shall be detectable by sight or smell outside of a permitted facility. If Odor Control Plan is not effective, business must take steps to mitigate the problem-if need be. Noncompliance of such operating standards shall constitute a breach of the permit issued hereunder and may render such permit suspended or revoked based upon the City Manager’s determination.
6. Permitted facilities must install security cameras capable of documenting activity inside and outside the facility, as determined by the Imperial Police Department. Permitted facilities must implement a tract and trace program that records the movement of medical cannabis and medical cannabis products in their custody and make these records available to the City Manager upon request. Noncompliance of such operating standards shall constitute a breach of the permit issued hereunder and may render such permit suspended or revoked based upon City Manager’s determination. All security systems must be inspected by the Police Department prior to operation.
7. All commercial medical marijuana facilities shall secure a State license within 6 months of the State issuance. Revocation of a permittee’s State license shall result in immediate revocation of the permittee’s City of Imperial Conditional Use permit.
8. All commercial medical marijuana facilities shall maintain a minimum of 600 feet radius separation from sensitive zones as defined and in compliance with the City of Imperial’s Ordinance 795.

9. Lighting at commercial medical marijuana facilities shall remain illuminated at all times between sunset and sunrise with sufficient intensity to illuminate every portion of the premises including but not limited to parking, any accessory uses and adjoining sidewalks.
10. 24-hour fixed camera video surveillance shall be required at all commercial marijuana facilities and digital storage in the cloud or other off-site method of recordings shall be available for 90 days after recording. Further, that recording is of a sufficient quality to provide identification of any individual being recorded; that the surveillance covers every interior area and room and adjacent perimeter areas within a minimum of 50 feet; and that the City of Imperial Police Department or other City authorized department shall have 24-hour remote access to the surveillance system.
11. No consumption of any cannabis product shall be allowed on any of the facility's premises-except for research purposes that are certified/acknowledged by the FDA and registered in the "ClinicalTrials.gov" data base.
12. All information regarding the research and clinical trials must be submitted to the Community Development Department before commencing trials.
13. All products shall be tracked, tested, sealed and labeled at a minimum by State Medical Cannabis Regulation Act and as it may be amended.
14. All cannabis products that can be ingested by eating or drinking shall have a warning label or sign advising them of the potential hazard associated with over-consumption.
15. A licensee shall keep accurate records of commercial medical cannabis activity.
16. All records related to commercial medical cannabis activity shall be maintained for a minimum of seven years.
17. The City or its designee may examine the records of licensees and inspect the premises of a licensee as the licensing authority as may be authorized by law at any time and furthermore, the establishment will be subject to quarterly inspections by the Community Development Department and will be subject to regulatory inspection fees.
18. The City or its designee shall have access to any licensed medical marijuana facility for inspection of the facility, the employees and records (HIPPA compliance rules apply) during any normal business hours or at any other reasonable time. Licensees shall provide and deliver records to the licensing authority upon request.
19. A commercial medical marijuana licensee shall have a reasonable period of time, which shall not exceed 14 calendar days to correct an adverse impact or to cure a legitimate complaint or possible non-compliance as defined in this section, before being subject to revocation, suspension, or other discipline unless the impact, complaint or non-

compliance would result in an immediate danger to the public and shall then be cured immediately as determined by local law enforcement or other appropriate authority.

20. Disposal of any unused or unwanted medical marijuana shall undergo a special process and shall not be disposed of as or with routine garbage disposal procedures. Please submit disposal procedures for review during building permit process.
21. Applicant shall comply with all local and State laws, regulations, rules, ordinances, and standards as they pertain to this project, whether specified herein or not. Where conflicts occur, the most stringent shall apply.
22. The conditional approval of the Conditional Use Permit shall not constitute the waiver of any requirement of the City's Ordinances or regulations, except where a condition set forth herein specifically provides for a waiver.
23. As between the City and the Permittee, any violation of this permit may be a "nuisance per se". The City may enforce the terms and conditions of this permit in accordance with its Codified Ordinances and/or State law. The provisions of this paragraph shall not apply to any claim of nuisance per se brought by a third party.
24. Permittee shall not be permitted to maintain a "nuisance", which is anything which: (1) is injurious to health, or is indecent or offensive to the senses, or an obstruction to the free use of property, so as to interfere with the comfortable enjoyment of life or property, and/or (2) affects at the same time an entire community or neighborhood, or any considerable number of persons, although the extent of the annoyance or damage inflicted upon individuals may be unequal, and/or (3) occurs during or as a result of the approved project.
25. Applicant must meet all aspects as depicted and outlined within their Medical Cannabis Retail Facility Permit Application.
26. Assessment of site security by a qualified licensed security consultant.
27. Permit application require the submittal of security and fire prevention plans.
28. Security measures to include, but not limited to installation of 24-hour, live-feed security High Definition cameras accessible by the Police Department remotely on demand; alarm systems; and 24-hour onsite security personnel authorized by the Police Chief.
29. City Manager, Planning Director, Police Chief or designee may enter the business at any time during hours of operation without notice to inspect location, request recordings and records, or obtain samples of the cannabis to test for public safety purposes.
30. Camera systems, will surveillance footage be made available to law enforcement at any time of day should an incident occurred in or around your facility.

31. Who will be tasked and gave access to “Guardian Angel” software. Should an incident arise where access to such program be necessary for investigation, will the program be available to officer/investigators.
32. Placement of a backup power system in case of a power outage in order to maintain security systems running for an extended period of time.
33. 3% of Medical Cannabis Facility gross profits goes to youth programs and education for the City of Imperial.
34. 5% of Medical Cannabis Facility gross profits goes to public safety for the City of Imperial.
35. All cannabis facilities shall have an approved automatic fire suppression system. All fire suppression systems will be installed and maintained to the current adapted fire code and regulations.
36. All cannabis facilities shall have an approved automatic fire detection system. All fire detection systems will be installed and maintained too the current adapted fire code and regulations.
37. All cannabis facilities shall have an approved automatic smoke removal system with approved filtration, for cannabis operations.
38. Gates and fire department access will be in accordance with the current adapted fire code and the facility will maintain a Knox Box for access on site.
39. Further requirement shall be required for cultivation and manufacturing process.
40. Compliance with all required sections of the fire code.
41. Page 57 of provided package submitted will need be have the following changes made. Keys will be kept in an approved KNOX Box purchased by the applicant. Information will be provided by Imperial County Fire Department on type and location of Knox Box.
42. Page 89 of provided package submitted shows the proposed floorplan. Egress access is of concern with minimal exits provided. Only 1 public exit is shown on the plans which will limit the occupant load capacity. Other exits are in restricted locations which may be locked and restricted from public access.
43. Imperial County Fire Department reserves the right to comment at a later time as we feel necessary. Further requirements may be required as the California Fire Code are being revised and/or amendments being added for cannabis operations.



CITY COUNCIL
Geoff Dale – Mayor
Betty Sampson – Mayor Pro Tem
Robert Amparano – Councilmember
Darrell Pecht – Councilmember
James Tucker – Councilmember

CITY CLERK
Debra Jackson


CITY TREASURER
Stacy Cox

CITY ATTORNEY
Dennis Morita

CITY MANAGER
Stefan T. Chatwin

CONDITIONAL USE PERMIT

Permit Number: CUP 18-07
Issue Date: January 3, 2018
Location: 2433 Marshall Road; Imperial, CA 92251
Business Name: March & Ash Medical Cannabis Facility
Date Effective: December 26, 2018



Lisa Tylenda, Planner
Community Development Department
City of Imperial

CONDITIONS OF APPROVAL

For

CUP (18-07)
2433 Marshall Road; Imperial, CA 92251
APN#: 044-701-013

1. This Conditional Use Permit is granted for a Medical Cannabis Dispensary Facility located at 2433 Marshall Road; Imperial, CA 92251. This Conditional Use Permit shall only be valid so long as a the California State issued Medical Cannabis Dispensary License is valid.
2. The Public Services Department would like to reserve the right, to require additional traffic mitigation measures and/or studies as needed for 18 month (counting from the first day of business).
3. The provisions of this Conditional Use Permit are to run with the business named “March and Ash”, owned by “Blake Marchand”, and is only valid so long as the project operates at 2433 Marshall Road; Imperial, CA 92251. If any of these conditions change, the Conditional Use Permit will not be valid.
4. “March and Ash” Company is to incorporate a type of “Community Outreach” plan that could help educate the citizens of the City of Imperial and that may give a better understanding of the medicinal products your company will be offering. Beginning from the date of operation. Potentially have a booth at

the City of Imperials designated "Market Day" events.

5. No cannabis or cannabis odors shall be detectable by sight or smell outside of a permitted facility. If Odor Control Plan is not effective, business must take steps to mitigate the problem- if need be. Noncompliance of such operating standards shall constitute a breach of the permit issued hereunder and may render such permit suspended or revoked based upon the City Manager's determination.
6. Permitted facilities must install security cameras capable of documenting activity inside and outside the facility, as determined by the Imperial Police Department. Permitted facilities must implement a track and trace program that records the movement of medical cannabis and medical cannabis products in their custody and make these records available to the City Manager upon request. Noncompliance of such operating standards shall constitute a breach of the permit issued hereunder and may render such permit suspended or revoked based upon the City Manager's determination. All security systems must be inspected by the Police Department prior to operation.
7. All commercial medical marijuana facilities shall secure a State license within 6 months of the State issuance. Revocation of a permittee's State license shall result in immediate revocation of the permittee's City of Imperial Conditional Use permit.
8. All commercial medical marijuana facilities shall maintain a minimum of 600 feet radius separation from sensitive zones as defined and in compliance with the City of Imperial's Ordinance 795.
9. Lighting at commercial medical marijuana facilities shall remain illuminated at all times between sunset and sunrise with sufficient intensity to illuminate every portion of the premises including but not limited to parking, any accessory uses and adjoining sidewalks.
10. 24-hour fixed-camera video surveillance shall be required at all commercial marijuana facilities and digital storage in the cloud or other off-site method of recordings shall be available for 90 days after recording. Further, that recording is of a sufficient quality to provide identification of any individual being recorded; that the surveillance covers every interior area and room and adjacent perimeter areas within a minimum of 50 feet; and that the City of Imperial Police Department or other City authorized department shall have 24-hour remote access to the surveillance system.
11. No consumption of any cannabis product shall be allowed on any of the facility's premises- except for research purposes that are certified/acknowledged by the FDA and registered in the "ClinicalTrials.gov" data base.
12. All information regarding the research and clinical trials must be submitted to the Community Development Department before commencing trials.
13. All products shall be tracked, tested, sealed and labeled at a minimum by State Medical Cannabis Regulation Act and as it may be amended.
14. All cannabis products that can be ingested by eating or drinking shall have a warning label or sign advising them of the potential hazard associated with over-consumption.
15. A licensee shall keep accurate records of commercial medical cannabis activity.

16. All records related to commercial medical cannabis activity shall be maintained for a minimum of seven years.
17. The City or its designee may examine the records of licensees and inspect the premises of a licensee as the licensing authority as may be authorized by law at any time and furthermore, the establishment will be subject to quarterly inspections by the Community Development Department and will be subject to regulatory inspection fees.
18. The City or its designee shall have access to any licensed medical marijuana facility for inspection of the facility, the employees and records (HIPPA compliance rules apply) during any normal business hours or at any other reasonable time. Licensees shall provide and deliver records to the licensing authority upon request.
19. A commercial medical marijuana licensee shall have a reasonable period of time, which shall not exceed 14 calendar days to correct an adverse impact or to cure a legitimate complaint or possible non-compliance as defined in this section, before being subject to revocation, suspension, or other discipline unless the impact, complaint or non-compliance would result in an immediate danger to the public and shall then be cured immediately as determined by local law enforcement or other appropriate authority.
20. Disposal of any unused or unwanted medical marijuana shall undergo a special process and shall not be disposed of as or with routine garbage disposal procedures. Please submit disposal procedures for review during building permit process.
21. Applicant shall comply with all local and State laws, regulations, rules, ordinances, and standards as they pertain to this project, whether specified herein or not. Where conflicts occur, the most stringent shall apply.
22. The conditional approval of the Conditional Use Permit shall not constitute the waiver of any requirement of the City's Ordinances or regulations, except where a condition set forth herein specifically provides for a waiver.
23. As between the City and the Permittee, any violation of this permit may be a "nuisance per se". The City may enforce the terms and conditions of this permit in accordance with its Codified Ordinances and/or State law. The provisions of this paragraph shall not apply to any claim of nuisance per se brought by a third party.
24. Permittee shall not be permitted to maintain a "nuisance", which is anything which: (1) is injurious to health, or is indecent or offensive to the senses, or an obstruction to the free use of property, so as to interfere with the comfortable enjoyment of life or property, and/or (2) affects at the same time an entire community or neighborhood, or any considerable number of persons, although the extent of the annoyance or damage inflicted upon individuals may be unequal, and/or (3) occurs during or as a result of the approved project.
25. Applicant must meet all aspects as depicted and outlined within their Medical Cannabis Retail Facility Permit Application.
26. Assessment of site security by a qualified licensed security consultant.

27. Permit application require the submittal of security and fire prevention plans.
28. Security measures to include, but not limited to installation of 24-hour, live-feed security High Definition cameras accessible by the Police Department remotely on demand; alarm systems; and 24-hour onsite security personnel authorized by the Police Chief.
29. City Manager, Planning Director, Police Chief or designee may enter the business at any time during hours of operation without notice to inspect location, request recordings and records, or obtain samples of the cannabis to test for public safety purposes.
30. Camera systems, will surveillance footage be made available to law enforcement at any time of day should an incident occurred in or around your facility.
31. Who will be tasked and have access to "guardian Angel" software. Should an incident arise where access to such program be necessary for an investigation, will the program be available to officer/ investigators.
32. Placement of a backup power system in case of a power outage in order to maintain security systems running for an extended period of time.
33. 3% of Medical Cannabis Facility gross profits goes to youth programs and education for the City of Imperial.
34. 5% of Medical Cannabis Facility gross profits goes to public safety for the City of Imperial.
35. All cannabis facilities shall have an approved automatic fire suppression system. All fire suppression systems will be installed and maintained to the current adapted fire code and regulations.
36. All cannabis facilities shall have an approved automatic fire detection system. All fire detection systems will be installed and maintained to the current adapted fire code and regulations.
37. All cannabis facilities shall have an approved automatic smoke removal system with approved filtration for cannabis operations.
38. Gates and fire department access will be in accordance with the current adapted fire code and the facility will maintain a Knox Box for access on site.
39. Further requirement shall be required for cultivation and manufacturing process.
40. Compliance with all required sections of the fire code.
41. Page 57 of provided package submitted will need to have the following changes made. Keys will be kept in an approved KNOX Box purchase by the applicant. Information will be provided by Imperial County Fire Department on type and location of Knox box.
42. Page 89 of provided package submitted shows the propose floorplan. Egress access is of concerns with minimal exits provided. Only 1 public exit is shown on the plans which will limit the occupant load capacity. Other exits are in restricted locations which may be locked and restricted from public access.

43. Imperial County Fire Department reserves the right to comment at a later time as we feel necessary. Further requirements may be required as the California Fire Code are being revised and/or amendments being added for cannabis operations.

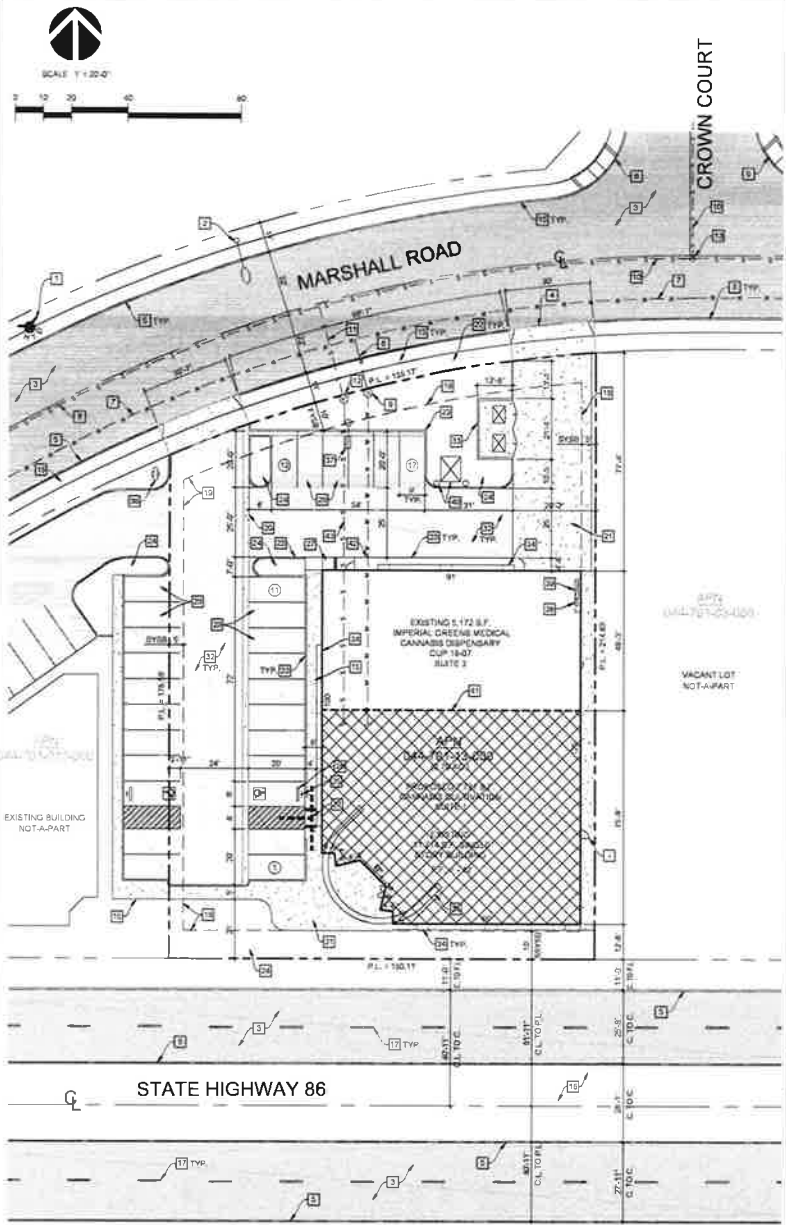
The undersigned hereby declare and certify that under penalty of perjury that I accept all conditions imposed by the Planning Commission in their approval as outlined above. As the project applicant, I agree to comply with these conditions and all other applicable laws and regulations at all times.


Signature

1-3-2019
Date

Blaise Marchand
Printed Name

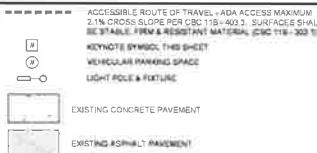
SITE PLAN



SITE KEYNOTES

- 1 EXISTING FIRE HYDRANT TO REMAIN - V.I.F.
- 2 EXISTING STREET LIGHT TO REMAIN - V.I.F.
- 3 EXISTING STREET IMPROVEMENTS - V.I.F.
- 4 EXISTING CONCRETE DRIVEWAY TO REMAIN - V.I.F.
- 5 EXISTING 6" CONCRETE CURB AND GUTTER - V.I.F.
- 6 EXISTING ACCESSIBLE PEDESTRIAN RAMP - V.I.F.
- 7 EXISTING WATER MAIN - V.I.F.
- 8 EXISTING POTABLE WATER METER - V.I.F.
- 9 EXISTING POTABLE WATER METER - V.I.F.
- 10 EXISTING SEWER MAIN - V.I.F.
- 11 EXISTING SEWER LATERAL - V.I.F.
- 12 EXISTING SEWER MANHOLE - V.I.F.
- 13 EXISTING STORMDRAIN SYSTEM - V.I.F.
- 14 EXISTING CONCRETE SIDEWALK - V.I.F.
- 15 EXISTING DIRT MEDIAN - V.I.F.
- 16 EXISTING STREET STRIPE - V.I.F.
- 17 EXISTING LOADING UNLOADING ZONE
- 18 EXISTING SETBACK LINE
- 19 EXISTING CONCRETE SWALE - V.I.F.
- 20 EXISTING CONCRETE PAVEMENT - V.I.F.
- 21 EXISTING LANDSCAPE PARKWAY - V.I.F.
- 22 EXISTING 6" CONCRETE CURB - V.I.F.
- 23 EXISTING LANDSCAPE AND IRRIGATION - V.I.F.
- 24 EXISTING ACCESSIBLE BIKES PER TITLE 24 REQUIREMENTS
- 25 EXISTING CONCRETE CURB
- 26 EXISTING ACCESSIBLE CONCRETE RAMP
- 27 EXISTING ACCESSIBLE WHEELSTOP
- 28 EXISTING STANDARD VEHICULAR PARKING SPACE
- 29 EXISTING ACCESSIBLE ROUTE OF TRAVEL PER LEGEND
- 30 EXISTING ACCESSIBLE PARKING SPACE PER TITLE 24 REQUIREMENTS
- 31 EXISTING ASPHALT PAVEMENT
- 32 EXISTING TRASH ENCLOSURE TO REMAIN
- 33 EXISTING ARCHITECTURAL COLUMN FEATURE
- 34 EXISTING ROOF PARAPET FEATURE ABOVE BUILDING
- 35 EXISTING MONUMENT SIGN - NOT A PART
- 36 EXISTING ELECTRICAL POLE WITH LIGHT FEATURE - V.I.F.
- 37 EXISTING ELECTRICAL METER - V.I.F.
- 38 EXISTING ELECTRICAL MIB - V.I.F.
- 39 EXISTING ELECTRICAL TRANSFORMER WITH METAL BOLLARDS - V.I.F.
- 40 EXISTING DOWNING FULL HEIGHT WALL BELOW
- 41 EXISTING PRIVATE WATER LINE TO BUILDING - V.I.F.
- 42 EXISTING PRIVATE SEWER LINE TO BUILDING - V.I.F.

SITE LEGEND



SITE DATA

SITE AREA 30,482 S.F. / 0.70 AC
 GENERAL PLAN DESIGNATION D44-701-013-000
 ZONING COMMERCIAL
 HISTORICAL DISTRICT NONE
 EXISTING USE CANNABIS DISPENSARY / VACANT CANNABIS CULTIVATION
 PROPOSED USE
 EXISTING LANDSCAPE AREA 3,263 S.F. / 0.074 AC
 (% of TOTAL SITE)

BUILDING DATA

EXISTING CONSTRUCTION TYPE V-4B
 EXISTING FIRE SPRINKLERED NO
 EXISTING BUILDING FEAS 2009
 EXISTING OCCUPANCY GROUP M
 EXISTING F.A.R. 0.38
 PROPOSED CHASE BUILDING AREA 5.1' S.F.
 PROPOSED CONSTRUCTION TYPE V-8
 PROPOSED FIRE SPRINKLERED MD
 PROPOSED OCCUPANCY GROUP M
 PROPOSED F.A.R. 0.42
 EXISTING TOTAL BUILDING AREA 11,714 S.F.
 EXISTING VACANT SUITE 1 2,882 S.F.
 EXISTING SUITE 2 3,840 S.F.
 EXISTING SUITE 3 4,992 S.F.
 PROPOSED SUITE 1 6,421 S.F.
 PROPOSED SUITE 1 MEZZANINE 1,300 S.F. (ADDITION)
 PROPOSED SUITE 1 7,721 S.F.
 PROPOSED TOTAL BUILDING AREA 13,041 S.F.

BUILDING CALCS

FLOOR AREA: 11' x 13,019 S.F. / 26,000 S.F. + 0.38 x 1

BUILDING CODE

3219 CALIFORNIA BUILDING CODE
 325 CALIFORNIA GREEN BUILDING STANDARDS CODE
 319 CALIFORNIA PLUMBING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 3019 CALIFORNIA FIRE CODE
 3019 ENERGY CODE

PARKING CALCS

REQUIRED PARKING - 17
 (1 PER 300 S.F. RETAIL) 5,172 S.F. / 300 = 17
 (1 PER EMPLOYEE CULTIVATION) 1 EMPLOYEE = 1
 (1 PER SECURITY GUARD) 1 SECURITY GUARD = 1
 TOTAL EXISTING PARKING - 17
 STANDARD (9'-0" x 18'-0") = 16
 VAN ACCESSIBLE (8'-0" x 20'-0") = 1

SETBACKS

| LOCATION | REQUIRED STANDARDS | REQUIRED MINIMUM |
|--|--------------------|------------------|
| FRONT STREET SETBACK (MARSHALL ROAD) | 12'-0" | 12'-0" |
| REAR STREET SETBACK (STATE HIGHWAY 86) | 33'-0" | 10'-0" |
| SIDE YARD SETBACK | 5'-0" | 5'-0" |

SHEET INDEX

| NO. | SHEET TITLE - DESCRIPTION |
|-----|--|
| 1 | A1.1 SITE PLAN, LEGEND, KEYNOTES, VICINITY MAP, DATA, INFO & NOTES |
| 2 | A1.2 EXISTING FIRST FLOOR PLAN, KEYNOTES & LEGEND |
| 3 | A1.3 PROPOSED FIRST FLOOR PLAN, KEYNOTES & LEGEND |
| 4 | A1.3.1 PROPOSED MEZZANINE FLOOR PLAN, KEYNOTES & LEGEND |
| 5 | A1.3.2 PROPOSED FIRST FLOOR SECURITY PLAN, NOTES & LEGEND |
| 6 | A1.4 PROPOSED MEZZANINE SECURITY PLAN, NOTES & LEGEND |
| 7 | A1.5 EXISTING ROOF PLAN, KEYNOTES & LEGEND |
| 8 | A1.1 EXISTING EXTERIOR ELEVATIONS |

PROJECT TEAM

OWNER: 2433 MARSHALL ROAD, SUITE 110, SAN DIEGO, CA 92161
 CONTACT/PHONE: 619.444.3333
 ARCHITECT: MARCH & ASH, 2635 CAMINO DEL RIO SOUTH, SUITE 100, SAN DIEGO, CA 92108
 CONTRACT/PHONE: 619.594.1100
 ENGINEER: TRH, 1705 COLLETTA BLVD, SUITE 200, SAN DIEGO, CA 92108
 CONTRACT/PHONE: 619.594.1100

SCOPE OF WORK

- * PROPOSED CUP 18-07 AMENDMENT TO ALLOW RECREATIONAL CANNABIS CULTIVATION FACILITY IN AN EXISTING COMMERCIAL BUILDING IN THE CITY OF IMPERIAL.
- * PROPOSED ACCESSIBLE RESTROOM WITH LOW-FLOW PLUMBING FIXTURES, FITTINGS AND APPLIANCES AS SPECIFIED IN THE CALIFORNIA GREEN BUILDING STANDARDS.
- * PROPOSED ACCESSIBLE SHOWER FACILITY PER CALIFORNIA GREEN BUILDING STANDARDS.
- * PROPOSED ADDITIONAL MEZZANINE FLOOR.

LEGAL DESCRIPTION

A PORTION OF PARCEL 1 OF CROWN BUSINESS CENTER, IN THE CITY OF IMPERIAL COUNTY OF IMPERIAL STATE OF CALIFORNIA, ACCORDING TO OFFICIAL RECORD DOC. NO. 2007-02238 FILED ON MAY 31, 2007 IN THE OFFICE OF THE COUNTY RECORDER OF IMPERIAL COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF SAID PARCEL 1, SAID POINT ALSO BEING THE POINT OF BEGINNING, THENCE N 80° 02' 57" W ALONG THE WEST LINC OF SAID PARCEL 1, 130.11 FEET TO THE NORTHWEST CORNER OF RESULTANT PARCEL 1B, THENCE N 80° 02' 57" W APPROXIMATELY 179.39 FEET TO A POINT ALONG A CURVE, SAID POINT ALSO BEING THE NORTH-EAST CORNER OF RESULTANT PARCEL 1B, THENCE SOUTHEASTERLY ALONG THE CURVE CONCAVE TO THE WEST, HAVING A RADIUS OF 461.00 FEET, THROUGH A CENTRAL ANGLE OF 19° 02' 18" AND ARC LENGTH OF 155.17 FEET TO A POINT ON THE CURVE, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF SAID PARCEL 1, AND THE SOUTHWEST CORNER OF RESULTANT PARCEL 1B, THENCE S 89° 02' 00" W A DISTANCE OF 214.83 FEET TO THE POINT OF BEGINNING.

SAID LAND IS ALSO KNOWN AS RESULTANT PARCEL 1B OF THAT CERTAIN CERTIFICATE OF COMPLIANCE RECORDED MAY 31, 2007 AS FILE NO. 2007-02239 OF OFFICIAL RECORDS.

CANOPY CALCULATIONS

MOTHERS ROOM 107 = 588 S.F.
 FLOWER ROOM 108 = 700 S.F.
 FLOWER ROOM 109 = 700 S.F.
 FLOWER ROOM 110 = 700 S.F.
 TOTAL CANOPY SIZE = 2,688 S.F.

HOURS OF OPERATION

FROM 6:00 AM TO 6:00 PM - 7 DAYS A WEEK

VICINITY MAP



trh
 I N C.
 1705 COLLETTA BLVD
 SUITE 200
 SAN DIEGO, CA 92108
 TEL: (619) 594-1100
 FAX: (619) 594-1100

MARCH & ASH
 2635 CAMINO DEL RIO SOUTH
 SUITE 100
 SAN DIEGO, CA 92108

CUP 18-07 AMENDMENT

| REVISION | ITEM | DATE |
|----------|------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

APN: 044-701-013
 2433 MARSHALL ROAD, SUITE 110
 IMPERIAL, CA 92251

THIS SET ISSUE DATE

| <input type="checkbox"/> SCHEMATIC | |
|--|------------|
| <input type="checkbox"/> DESIGN DEV. | |
| <input checked="" type="checkbox"/> PERMIT SUBMITTAL | 12/11/2020 |
| <input type="checkbox"/> PLAN CHECK 1 | |
| <input type="checkbox"/> PLAN CHANGE 1 | |
| <input type="checkbox"/> CONSTRUCTION | |
| <input type="checkbox"/> AS-BUILT | |

SHEET TITLE / CONTENTS

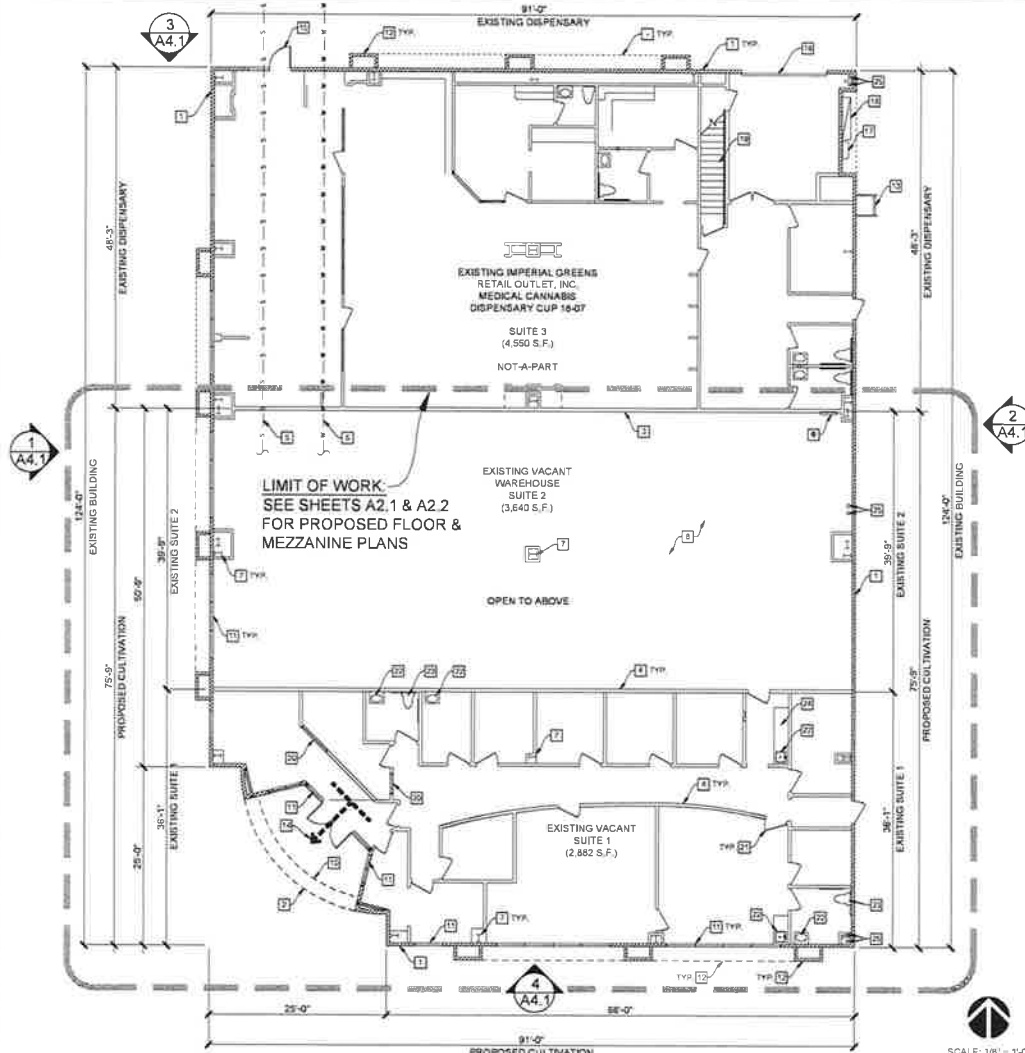
SITE PLAN, LEGEND & KEYNOTES

TRH PROJECT# 349-20
 SCALE: AS NOTED
 DRAWN BY: TRH
 DATE DRAWN: 10/21/2020
 CHECKED BY: KDS

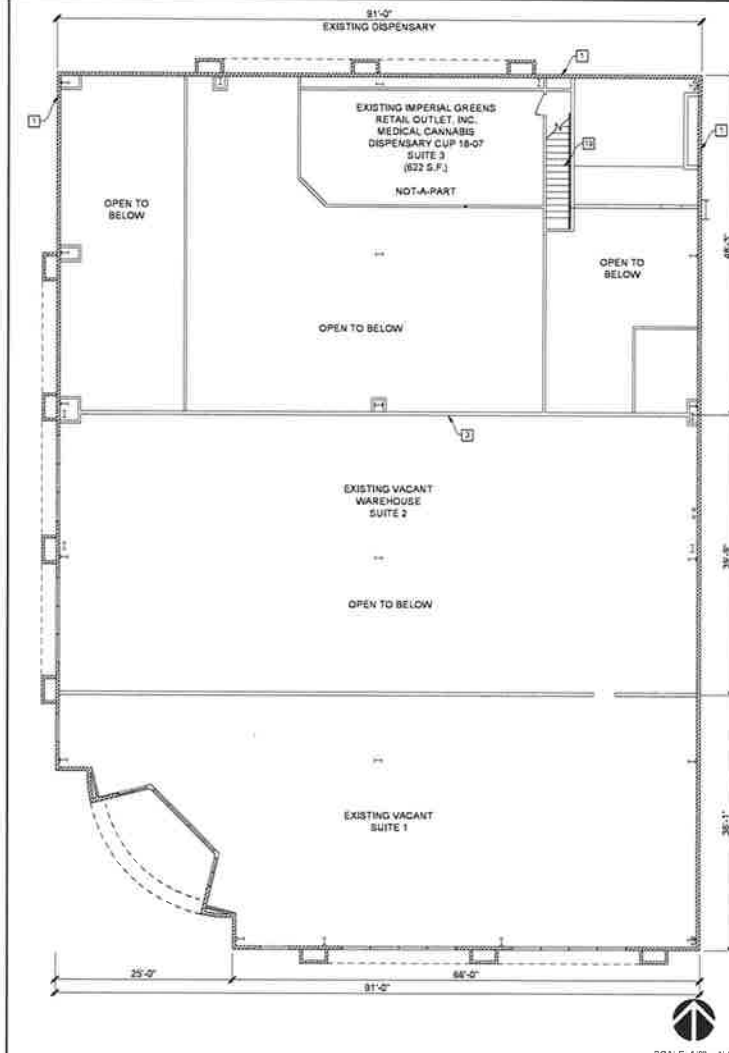
SHEET: 1 OF 8

A1.1

EXISTING FLOOR PLAN



EXISTING MEZZANINE PLAN



KEYNOTES

- 1 EXISTING EXTERIOR STUCCO WALL
- 2 EXISTING EXTERIOR ROOF OVERHANG ABOVE
- 3 EXISTING INTERIOR FULL HEIGHT DEMISING WALL
- 4 EXISTING INTERIOR WALL
- 5 EXISTING SINK LINE PER PLUMBING PLANS
- 6 EXISTING WATER LINE PER PLUMBING PLANS
- 7 EXISTING INTERIOR STRUCTURAL STEEL COLUMN
- 8 EXISTING INTERIOR CONCRETE FLOOR
- 9 EXISTING ELECTRICAL PANEL - V.I.F.
- 10 EXISTING EXTERIOR SLOPEHENT WINDOW
- 11 EXISTING NON-STRUCTURAL DECORATIVE COLUMN
- 12 EXISTING EXTERIOR ROOF ACCESS LADDER
- 13 EXISTING PATH OF TRAVEL
- 14 EXISTING EXTERIOR DOOR - NOT A PART
- 15 EXISTING EXTERIOR METAL ROLL-UP DOOR - NOT A PART
- 16 EXISTING EXTERIOR ELECTRICAL METER - V.I.F.
- 17 EXISTING EXTERIOR ELECTRICAL WIR - V.I.F.
- 18 EXISTING INTERIOR STAIRS - N.A.P.
- 19 EXISTING INTERIOR WINDOW - V.I.F.
- 20 EXISTING INTERIOR DOOR - V.I.F.
- 21 EXISTING SINK - V.I.F.
- 22 EXISTING TOILET - V.I.F.
- 23 EXISTING COUNTERTOP - V.I.F.
- 24 EXISTING ROOF DRAINS - V.I.F.
- 25 EXISTING EXTERIOR STUCCO WALL
- 26 EXISTING INTERIOR WALL
- 27 DIMENSION TO FACE OF STUD COLUMN OR WALL
- 28 ACCESSIBLE PATH OF TRAVEL PER TITLE 24 & ADA
- 29 KEYNOTE SYMBOL
- 30 EXTERIOR ELEVATION DETAIL NUMBER
- 31 EXTERIOR ELEVATION SHEET NUMBER

FLOOR PLAN LEGEND

- 1 EXISTING EXTERIOR STUCCO WALL
- 2 EXISTING INTERIOR WALL
- 3 DIMENSION TO FACE OF STUD COLUMN OR WALL
- 4 ACCESSIBLE PATH OF TRAVEL PER TITLE 24 & ADA
- 5 KEYNOTE SYMBOL
- 6 EXTERIOR ELEVATION DETAIL NUMBER
- 7 EXTERIOR ELEVATION SHEET NUMBER

G.F.A. CALCULATIONS

| CONDITION | SUITE NUMBER | TENANT NAME | ROOM AREA | G.F.A. |
|----------------|--------------|------------------------|-------------|-------------|
| EXISTING | SUITE 1 | VACANT | 2,882 S.F. | 5,764 S.F. |
| EXISTING | SUITE 2 | VACANT | 3,640 S.F. | 3,640 S.F. |
| EXISTING | SUITE 3 | MARCH & ASH DISPENSARY | 4,950 S.F. | 2,475 S.F. |
| EXISTING | SUITE 3 | MARCH & ASH MEZZANINE | 622 S.F. | 622 S.F. |
| TOTAL BUILDING | | | 11,694 S.F. | 18,504 S.F. |



APPLICANT:
MARCH & ASH
2835 CAMINO DEL RIO SOUTH
SUITE 220
SAN DIEGO, CA 92108

PROJECT:
CUP 18-07 AMENDMENT

APN: 044-701-013
2433 MARSHALL ROAD, SUITE 1
IMPERIAL, CA 92251

| REVISION | ITEM | DATE |
|----------|------|------|
| | | |
| | | |
| | | |
| | | |
| | | |

| THIS SET | ISSUE DATE |
|--|------------|
| <input type="checkbox"/> SCHEMATIC | |
| <input type="checkbox"/> DESIGN DEV. | |
| <input checked="" type="checkbox"/> PERMIT SUBMITTAL | 12/11/2020 |
| <input type="checkbox"/> PLAN CHECK 1 | |
| <input type="checkbox"/> PLAN CHANGE 1 | |
| <input type="checkbox"/> CONSTRUCTION | |
| <input type="checkbox"/> AS-BUILT | |

SHEET TITLE / CONTENTS
EXISTING 1ST FLOOR PLAN & MEZZANINE, LEGEND & KEYNOTES

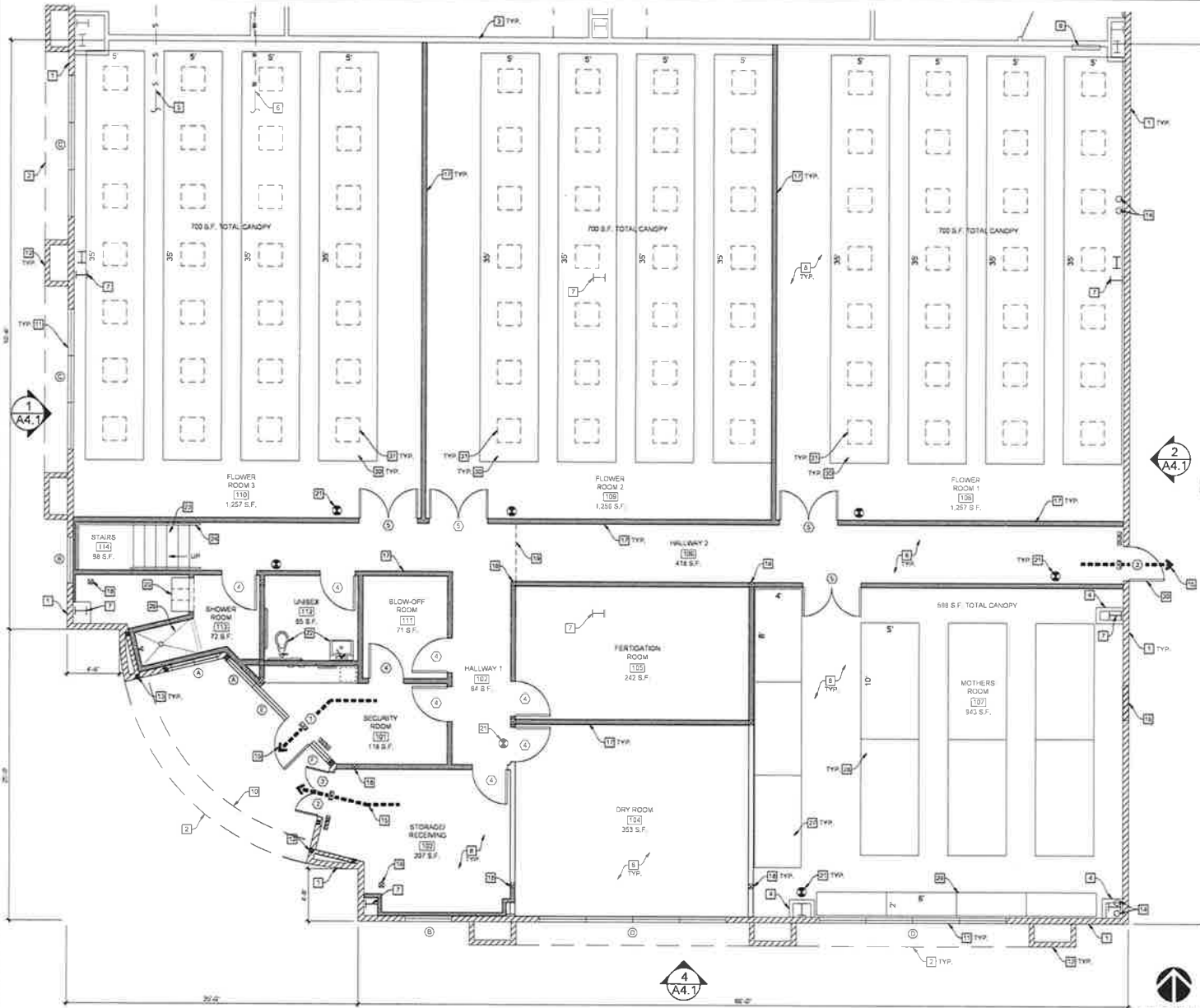
TRH PROJECT#: 348-20
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 10/21/2020
CHECKED BY: KDS

SHEET 2 OF 8

A2.0

ALL NOTES, SPECIFICATIONS, AND OTHER INFORMATION NOT SHOWN ON THESE PLANS SHALL BE GOVERNED BY THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, EDITION 2018, AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION, EDITION 2018, AND ANY ADDENDUMS THERE TO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES AND AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES AND AGENCIES.

PROPOSED FIRST FLOOR PLAN



KEYNOTES

- 1 EXISTING EXTERIOR STUCCO WALL TO REMAIN
- 2 EXISTING EXTERIOR ROOF OVERHANG ABOVE TO REMAIN
- 3 EXISTING INTERIOR FULL HEIGHT DEMISING WALL TO REMAIN
- 4 EXISTING INTERIOR WALL TO REMAIN
- 5 EXISTING BEWER LINE PER PLUMBING PLANS
- 6 EXISTING WATER LINE PER PLUMBING PLANS
- 7 EXISTING INTERIOR STRUCTURAL STEEL COLUMN TO REMAIN
- 8 EXISTING INTERIOR CONCRETE FLOOR TO REMAIN
- 9 EXISTING ELECTRICAL PANEL - V.I.F.
- 10 EXISTING SOFFIT LINE ABOVE
- 11 EXISTING EXTERIOR STOREFRONT WINDOW
- 12 EXISTING NON-STRUCTURAL DECORATIVE COLUMN
- 13 EXISTING STRUCTURAL WOOD COLUMN TO REMAIN - V.I.F.
- 14 EXISTING ROOF DRAINS FROM ROOF ABOVE - V.I.F.
- 15 PROPOSED ACCESSIBLE PATH OF TRAVEL
- 16 PROPOSED NEW EXTERIOR WALL TO MATCH EXISTING
- 17 PROPOSED NEW INTERIOR WALL PER LEGEND
- 18 PROPOSED INTERIOR WOOD COLUMN FOR NEW MEZZANINE ABOVE
- 19 PROPOSED NEW MEZZANINE LINE ABOVE
- 20 PROPOSED EMERGENCY EXIT DOOR ONLY
- 21 PROPOSED NEW FIRE EXTINGUISHER CFC 306 & CDR TITLE 19
- 22 PROPOSED ACCESSIBLE FIXTURES PER STATE OF CA TITLE 24 & ADA
- 23 PROPOSED INTERIOR WOOD STAIRS TO MEZZANINE
- 24 PROPOSED INTERIOR METAL RAILING
- 25 PROPOSED LOCKERS
- 26 PROPOSED ACCESSIBLE SHOWER
- 27 PROPOSED BENCH WITH FRAME - DOUBLE STACK
- 28 PROPOSED TRAYS FOR MOTHERS ON TABLES
- 29 PROPOSED RACKS FOR GLOWERS IN TRAYS - DOUBLE STACK
- 30 PROPOSED TRAYS FOR GLOWERS ON TABLES
- 31 PROPOSED GROW LIGHTS ABOVE TABLES

FLOOR PLAN LEGEND

- EXISTING EXTERIOR STUCCO WALL TO REMAIN
- PROPOSED EXTERIOR WALL TO MATCH EXISTING
- EXISTING FULL HEIGHT INTERIOR WALL TO REMAIN
- PROPOSED INTERIOR WALL
- DIMENSION TO FACE OF STUD. COLUMN OR WALL
- ACCESSIBLE PATH OF TRAVEL PER TITLE 24 & ADA
- NEW FIRE EXTINGUISHER PER CFC 306 & CDR TITLE 19
- ROOM NUMBER
- DOOR SYMBOL PER DOOR SCHEDULE
- WINDOW SYMBOL PER WINDOW SCHEDULE
- NEW EXIT SIGN (U.F.C. ARTICLE 10 DM (R & CSC 1013))
- NEW TACTILE EXIT SIGN WITH WORDS "EXIT ROUTE" (PER CSC 10114)
- EXTERIOR ELEVATION DETAIL NUMBER
- EXTERIOR ELEVATION SHEET NUMBER

G.F.A. CALCULATIONS

| CONDITION | ROOM NUMBER | ROOM NAME | ROOM AREA | G.F.A. |
|-----------------|-------------|---------------------|------------|-------------|
| PROPOSED | 101 | SECURITY ROOM | 118 S.F. | 118 S.F. |
| PROPOSED | 102 | HALLWAY 1 | 84 S.F. | 84 S.F. |
| PROPOSED | 103 | STORAGE / RECEIVING | 207 S.F. | 207 S.F. |
| PROPOSED | 104 | DRY ROOM | 353 S.F. | 353 S.F. |
| PROPOSED | 105 | FERTIGATION ROOM | 242 S.F. | 242 S.F. |
| PROPOSED | 106 | HALLWAY 2 | 418 S.F. | 418 S.F. |
| PROPOSED | 107 | MOTHERS ROOM | 943 S.F. | 1,886 S.F. |
| PROPOSED | 108 | FLOWER ROOM 1 | 1,267 S.F. | 2,514 S.F. |
| PROPOSED | 109 | FLOWER ROOM 2 | 1,265 S.F. | 2,512 S.F. |
| PROPOSED | 110 | FLOWER ROOM 3 | 1,257 S.F. | 2,514 S.F. |
| PROPOSED | 111 | BLOW OFF ROOM | 71 S.F. | 71 S.F. |
| PROPOSED | 112 | UPBSEX | 65 S.F. | 65 S.F. |
| PROPOSED | 113 | SHOWER ROOM | 72 S.F. | 72 S.F. |
| PROPOSED | 114 | STAIRS | 78 S.F. | 78 S.F. |
| EXISTING | | EXTERIOR SOFFIT | 177 S.F. | 177 S.F. |
| TOTAL 1ST FLOOR | | | 8,431 S.F. | 11,276 S.F. |

trh
INC.
1330 COLUMBIA BL.
SUITE 200
SAN DIEGO, CA 92101
TEL: 619 430-1000
FAX: 619 530-0800

APPLICANT:
MARCH & ASH
2835 CAMINO DEL RIO SOUTH
SUITE 220
SAN DIEGO, CA 92108

PROJECT:

CUP 18-07 AMENDMENT

APN: 044-701-013
2433 MARSHALL ROAD, SUITE 1
IMPERIAL, CA 92251

| REVISION | ITEM | DATE |
|----------|------|------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |

| THIS SET | ISSUE DATE |
|--|------------|
| <input type="checkbox"/> SCHEMATIC | |
| <input type="checkbox"/> DESIGN DEV. | |
| <input checked="" type="checkbox"/> PERMIT SUBMITTAL | 12/11/2020 |
| <input type="checkbox"/> PLAN CHECK 1 | |
| <input type="checkbox"/> PLAN CHANGE 1 | |
| <input type="checkbox"/> CONSTRUCTION | |
| <input type="checkbox"/> AS-BUILT | |

SHEET TITLE / CONTENTS

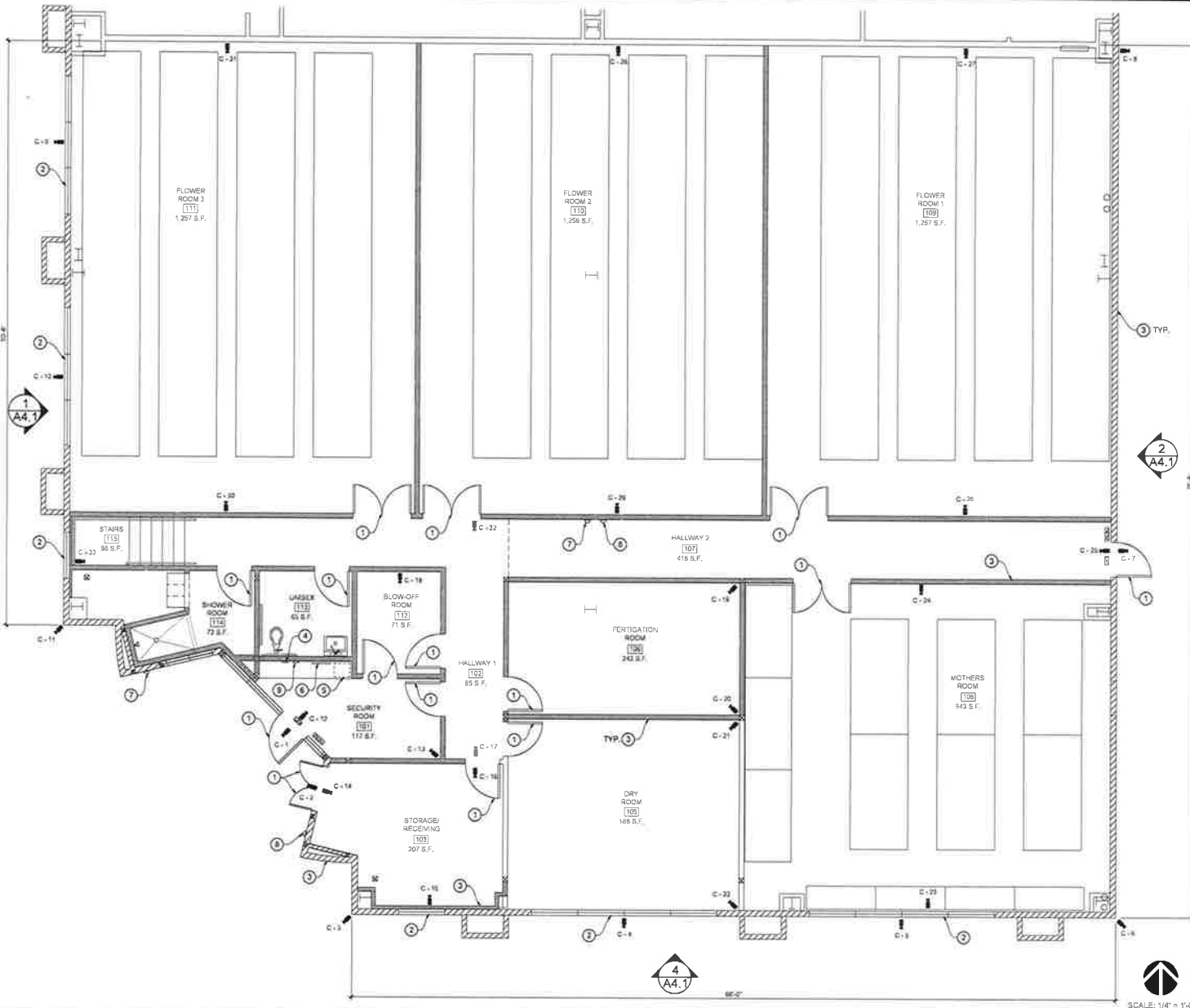
PROPOSED FIRST FLOOR PLAN, LEGEND & KEYNOTES

TRH PROJECT: 349-20
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 10/21/2020
CHECKED BY: XDS

SHEET 3 OF 8
A2.1

All dimensions, measurements, and notes are to be taken from the project files. The client is responsible for providing accurate information. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.

FIRST FLOOR SECURITY PLAN



SECURITY KEYNOTES

- 1 ACCESS CONTROLLED EXTERIOR & INTERIOR DOOR
- 2 EXISTING STOREFRONT WINDOW WITH REINFORCED FILM
- 3 BUILDING WALLS PER SECURITY LEGEND THIS SHEET
- 4 CENTRALLY MONITORED BURGLAR ALARM SYSTEM LOCATION
- 5 DIGITAL VIDEO RECORDER LOCATION IN LOCKED CABINET
- 6 DIGITAL CAMERA MOUNTING LOCATION
- 7 AUDIBLE BURGLAR ALARM LOCATION PER ALARM COMPANY
- 8 AUDIBLE FIRE ALARM LOCATION PER FIRE DEPARTMENT
- 9 CENTRALLY MONITORED FIRE ALARM SYSTEM LOCATION

trh
I N C.
1340 COLUMBIA BL.
SUITE 705
SAN DIEGO, CA 92101
TEL: 619.550.1000
FAX: 619.550.0888

SECURITY LEGEND

- EXISTING EXTERIOR WALL
- EXISTING INTERIOR FULL HEIGHT DEMISING WALL
- PROPOSED NEW FULL HEIGHT INTERIOR WALL
- AVIGLON HD SECURITY CAMERAS (100% WIRELESS)
- CAMERA NUMBER (TOTAL #)
- EXTERIOR ELEVATION DETAIL NUMBER
- EXTERIOR ELEVATION SHEET NUMBER

APPLICANT:

MARCH & ASH
2035 CAMINO DEL RIO SOUTH
SUITE 220
SAN DIEGO, CA 92108

SECURITY NOTES

1. THE LOCATION, INTERIOR AND EXTERIOR SHALL BE MONITORED AT ALL TIMES BY WEB-BASED CLOSED TELEVISION.
2. RECORDINGS SHALL BE MAINTAINED FOR A PERIOD OF NO LESS THAN 30 DAYS.
3. VIDEO SURVEILLANCE WILL BE MANAGED BY A WEB-BASED CCTV SYSTEM. LIVE FEEDS AND RECORDINGS WILL BE ACCESSIBLE WITH A WEB-BASED CLIENT CALLED WEBNET. WAVE SYNC CAMERAS WILL BE AVIGLON HD MODELS (OR EQUAL) AND WILL RECORD WITH 1280X720 RESOLUTION AND NIGHT FILTERING WHICH WILL BE ABLE TO CLEARLY CAPTURE ALL INDIVIDUALS AND VEHICLES ON THE PROPERTY AND IN THE FACILITY.
4. ALL CAMERA PLACEMENT SHALL BE AS SHOWN ON SECURITY PLAN THIS SHEET.
5. ALL SECURITY CAMERAS SHALL BE INSTALLED AND MAINTAINED IN GOOD CONDITION AND USED IN AN OBTUSING MANNER WITH AT LEAST 30 DAYS OF DIGITALLY RECORDED DOCUMENTATION.
6. THE BUSINESS SPACE SHALL BE ALARMED WITH A CENTRALLY MONITORED FIRE AND BURGLAR ALARM SYSTEM AND MONITORED BY AN ALARM COMPANY.
7. ENTRANCE TO THE CULTIVATION AREA OR "SECURITY ROOM" AND ANY STORAGE AREAS SHALL BE LOCKED AT ALL TIMES AND UNDER THE CONTROL OF EMPLOYEES AND/OR SECURITY GUARDS.
8. INTERIOR LIGHTING, THE PREMISES WITHIN WHICH THE CANNABIS BUSINESS IS OPERATED SHALL BE EQUIPPED WITH AND, AT ALL TIMES DURING WHICH IS OPEN TO THE PUBLIC OR ANY PORTION THEREOF, SHALL REMAIN ILLUMINATED WITH OVERHEAD LIGHTING FIXTURES OF SUFFICIENT INTENSITY TO ILLUMINATE EVERY PLACE TO WHICH MEMBERS OF THE PUBLIC OR PORTIONS THEREOF ARE PERMITTED ACCESS WITH AN ILLUMINATION OF NOT LESS THAN TWO FOOT-CANDELES AS MEASURED AT THE FLOOR LEVEL.
9. EXTERIOR LIGHTING, THE EXTERIOR OF THE PREMISES UPON WHICH THE CANNABIS BUSINESS IS OPERATED SHALL BE EQUIPPED WITH AND, AT ALL TIMES BETWEEN SUNSET AND SUNRISE, SHALL REMAIN ILLUMINATED WITH FIXTURES OF SUFFICIENT INTENSITY TO ILLUMINATE EVERY PORTION OF THE PROPERTY WITH AN ILLUMINATION LEVEL OF NOT LESS THAN ONE FOOT-CANDLE AS MEASURED AT THE GROUND LEVEL, INCLUDING BUT NOT LIMITED TO LANDSCAPED AREAS, PARKING LOTS, DRIVEWAYS, WALKWAYS, ENTRY AREAS, AND REFUSE STORAGE AREAS.
10. ALL WINDOWS ON THE BUILDING THAT HOUSES THE CULTIVATION SHALL BE APPROPRIATELY SECURED AND ALL CANNABIS SECURELY STORED, AND A RELIABLE COMMERCIAL ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED.
11. ALL FIRE AND BURGLAR ALARM SYSTEMS SHALL BE MONITORED BY AN ALARM COMPANY. ALL ALARM SYSTEMS SHALL BE UNDER SEPARATE PERMIT APPROVED BY THE FIRE DEPARTMENT.
12. ALL DOORS AND WINDOWS ON THE BUILDING SHALL BE CONNECTED TO THE SECURITY ALARM SYSTEM.

PROJECT

CUP 18-07 AMENDMENT

APN: 044-701-013
2433 MARSHALL ROAD, SUITE 1
IMPERIAL, CA 92251

| REVISION | ITEM | DATE |
|----------|------|------|
| ▲ | | |
| ▲ | | |
| ▲ | | |
| ▲ | | |

| THIS SET | ISSUE DATE |
|--|------------|
| <input type="checkbox"/> SCHEMATIC | |
| <input type="checkbox"/> DESIGN DEV. | |
| <input checked="" type="checkbox"/> PERMIT SUBMITTAL | 12/1/2020 |
| <input type="checkbox"/> PLAN CHECK 1 | |
| <input type="checkbox"/> PLAN CHANGE 1 | |
| <input type="checkbox"/> CONSTRUCTION | |
| <input type="checkbox"/> AS-BUILT | |

SHEET TITLE / CONTENTS

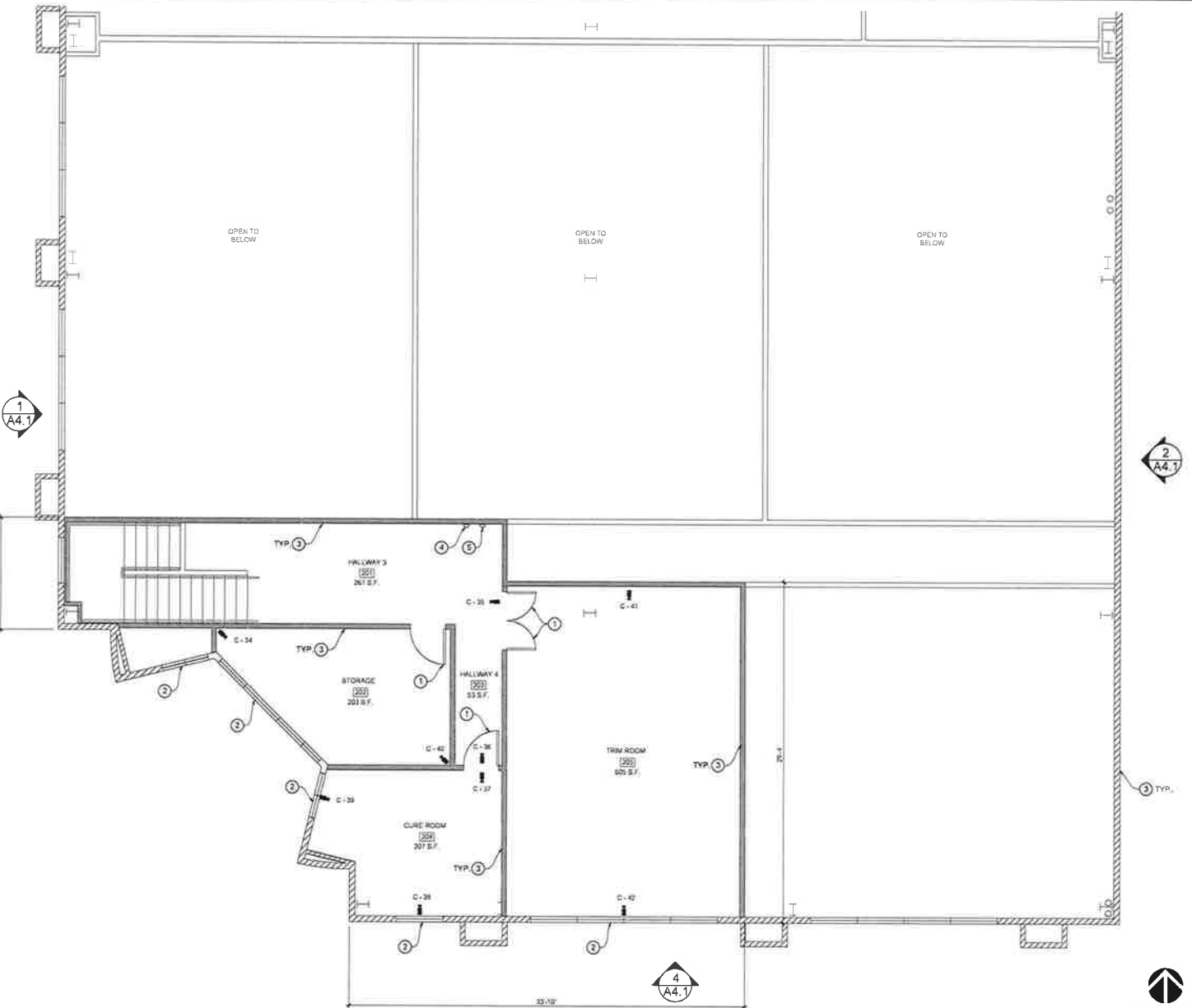
FIRST FLOOR SECURITY PLAN, LEGEND & KEYNOTES

TRH PROJECT: 349-20
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 10/21/2020
CHECKED BY: KDS

SHEET: 5 OF 8
A2.3

All items, methods, arrangements, and details indicated or referenced on this plan shall be in accordance with the applicable codes, standards, and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for obtaining all necessary permits and approvals.

MEZZANINE SECURITY PLAN



SECURITY KEYNOTES

- 1 ACCESS CONTROLLED INTERIOR DOOR
- 2 EXISTING STOREFRONT WINDOW WITH REINFORCED FILM
- 3 BUILDING WALLS PER SECURITY LEGEND THIS SHEET
- 4 AUDIBLE BURGLAR ALARM LOCATION PER ALARM COMPANY
- 5 AUDIBLE FIRE ALARM LOCATION PER FIRE DEPARTMENT

trh
I N C.
1350 COLUMBIA ST.
SUITE 700
SAN DIEGO, CA 92108
TEL: (619) 434-0060
FAX: (619) 434-0068

SECURITY LEGEND

- EXISTING EXTERIOR WALL
- EXISTING INTERIOR FULL HEIGHT DEMISING WALL
- PROPOSED NEW FULL HEIGHT EXTERIOR WALL
- AVIGILON HD SECURITY CAMERAS (1080P WIRELESS)
- CAMERA NUMBER (TOTAL #)
- EXTERIOR ELEVATION DETAIL NUMBER
- EXTERIOR ELEVATION SHEET NUMBER

APPLICANT:

MARCH & ASH
2835 CAMINO DEL RIO SOUTH
SUITE 220
SAN DIEGO, CA 92108

SECURITY NOTES

- 1 THE LOCATION, INTERIOR, AND EXTERIOR SHALL BE MONITORED AT ALL TIMES BY WEB-BASED CLOSED TELEVISION.
- 2 RECORDINGS SHALL BE MAINTAINED FOR A PERIOD OF NO LESS THAN 90 DAYS.
- 3 VIDEO SURVEILLANCE WILL BE MANAGED BY A WEB-BASED CCTV SYSTEM. LIVE FEEDS AND RECORDINGS WILL BE ACCESSIBLE WITH A WEB-BASED CLIENT CALLED WEBVIEW. WIRELESS CAMERAS WILL BE AVIGILON HD MODELS (OR EQUAL) AND WILL RECORD WITH 1280X720 RESOLUTION AND NIGHT FILTERING, WHICH WILL BE ABLE TO CLEARLY CAPTURE ALL INDIVIDUALS AND VEHICLES ON THE PROPERTY AND IN THE FACILITY.
- 4 ALL CAMERA PLACEMENT SHALL BE AS SHOWN ON SECURITY PLAN THIS SHEET.
- 5 ALL SECURITY CAMERAS SHALL BE INSTALLED AND MAINTAINED IN GOOD CONDITION AND USED IN AN ONGOING MANNER WITH AT LEAST 30 DAYS OF DIGITALLY RECORDED DOCUMENTATION.
- 6 THE BUSINESS SPACE SHALL BE ALARMED WITH A CENTRALLY MONITORED FIRE AND BURGLAR ALARM SYSTEM, AND MONITORED BY AN ALARM COMPANY.
- 7 ENTRANCE TO THE CULTIVATION AREA OR "SECURITY ROOM" AND ANY STORAGE AREAS SHALL BE LOCKED AT ALL TIMES AND UNDER THE CONTROL OF EMPLOYEES AND/OR SECURITY GUARD(S).
- 8 INTERIOR LIGHTING: THE PREMISES WITHIN WHICH THE CANNABIS BUSINESS IS OPERATED SHALL BE EQUIPPED WITH AND, AT ALL TIMES DURING WHICH IS OPEN TO THE PUBLIC OR ANY PORTION THEREOF, SHALL REMAIN ILLUMINATED WITH OVERHEAD LIGHTING FIXTURES OF SUFFICIENT INTENSITY TO ILLUMINATE EVERY PLACE TO WHICH MEMBERS OF THE PUBLIC OR PORTIONS THEREOF ARE PERMITTED ACCESS WITH AN ILLUMINATION OF NOT LESS THAN TWO FOOT-CANDELS AS MEASURED AT THE FLOOR LEVEL.
- 9 EXTERIOR LIGHTING: THE EXTERIOR OF THE PREMISES UPON WHICH THE CANNABIS BUSINESS IS OPERATED SHALL BE EQUIPPED WITH AND, AT ALL TIMES BETWEEN SUNSET AND SUNRISE SHALL REMAIN ILLUMINATED WITH FIXTURES OF SUFFICIENT INTENSITY AND NUMBER TO ILLUMINATE EVERY PORTION OF THE PROPERTY WITH AN ILLUMINATION LEVEL OF NOT LESS THAN ONE FOOT-CANDEL AS MEASURED AT THE GROUND LEVEL, INCLUDING, BUT NOT LIMITED TO, LANDSCAPE AREAS, PARKING LOTS, DRIVEWAYS, WALKWAYS, ENTRY AREAS AND REFUSE STORAGE AREAS.
- 10 ALL WINDOWS ON THE BUILDING THAT HOUSE THE CULTIVATION SHALL BE APPROPRIATELY SECURED AND ALL CANNABIS SECURELY STORED, AND A RELIABLE COMMERCIAL ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED.
- 11 ALL FIRE AND BURGLAR ALARM SYSTEMS SHALL BE MONITORED BY AN ALARM COMPANY. ALL ALARM SYSTEMS SHALL BE UNDER SEPARATE PERMIT APPROVED BY THE FIRE DEPARTMENT.
- 12 ALL DOORS AND WINDOWS ON THE BUILDING SHALL BE CONNECTED TO THE SECURITY ALARM SYSTEM.

PROJECT

CUP 18-07 AMENDMENT

APN 044-701-013
2433 MARSHALL ROAD, SUITE 1
IMPERIAL, CA 92251

| REVISION | ITEM | DATE |
|----------|------|------|
| ▲ | | |
| ▲ | | |
| ▲ | | |
| ▲ | | |

| THIS SET | ISSUE DATE |
|--|------------|
| <input type="checkbox"/> SCHEMATIC | |
| <input type="checkbox"/> DESIGN DEV. | |
| <input checked="" type="checkbox"/> PERMIT SUBMITTAL | 12/11/2020 |
| <input type="checkbox"/> PLAN CHECK 1 | |
| <input type="checkbox"/> PLAN CHANGE 1 | |
| <input type="checkbox"/> CONSTRUCTION | |
| <input type="checkbox"/> AS-BUILT | |

SHEET TITLE / CONTENTS

MEZZANINE SECURITY PLAN, LEGEND & KEYNOTES

TRH PROJECT: 348-30
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 10/1/2020
CHECKED BY: KDS

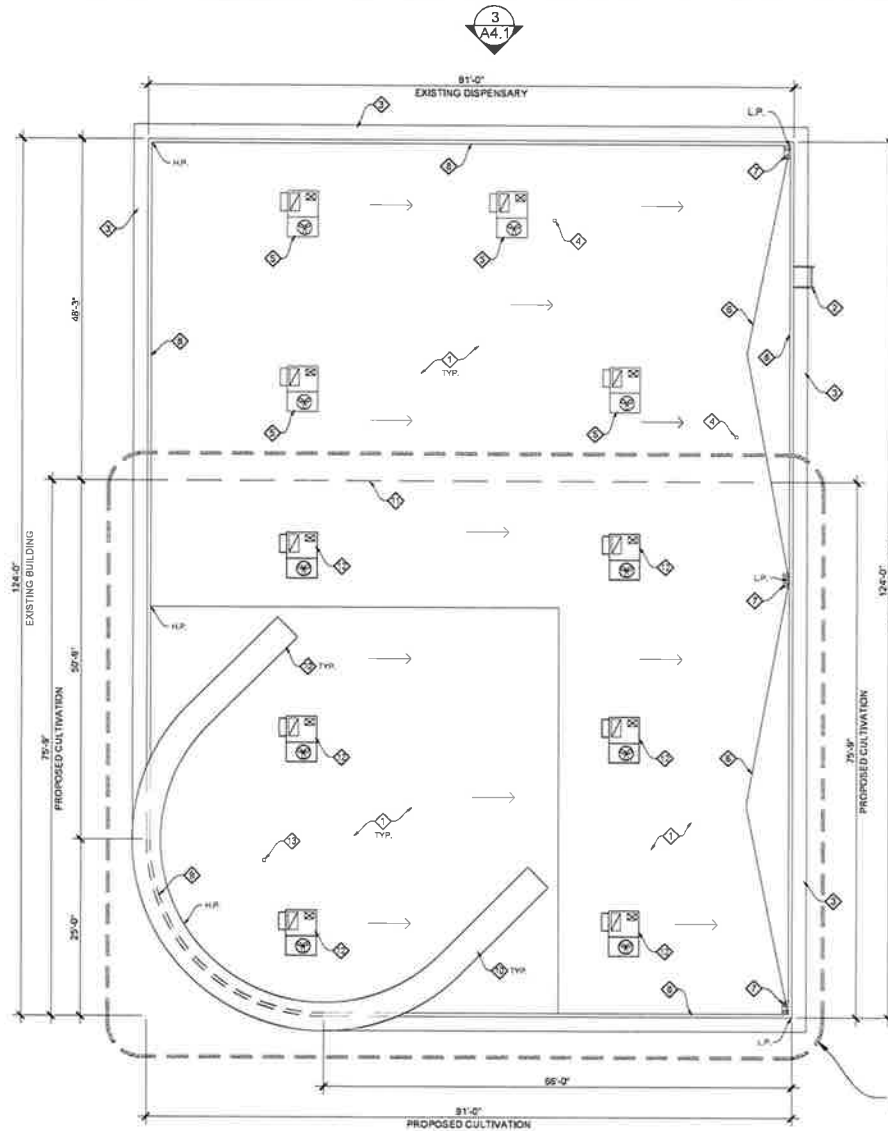
SHEET: 4 OF 8

A2.4

ALL DESIGN, CONSTRUCTION, AND OTHER MATERIALS OR METHODS TO BE PROVIDED BY THE CONTRACTOR SHALL BE SUBJECT TO THE APPROVAL OF THE CITY OF SAN DIEGO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN DIEGO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN DIEGO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN DIEGO.

SCALE: 1/4" = 1'-0"

EXISTING ROOF PLAN



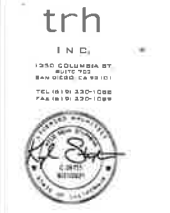
LIMIT OF WORK:
SEE SHEETS A2.1 & A2.2 FOR
PROPOSED FLOOR PLANS

ROOF KEYNOTES

- ◊ EXISTING CLASS A ROOF TO REMAIN - REPAIR IF DAMAGED
- ◊ EXISTING EXTERIOR WALL MOUNT ROOF LADDERS
- ◊ EXISTING ROOF TOP DOWNICE CLADDING
- ◊ EXISTING ROOF VENTS FROM PLUMBING FIXTURES BELOW
- ◊ EXISTING ROOF TOP UNITS WITH CHARCOAL FILTERS
- ◊ EXISTING ROOF CRICKET LINE FOR DRAINAGE
- ◊ EXISTING COMMERCIAL GRADE ROOF DRAIN AND OVERFLOW
- ◊ EXISTING 30" HIGH PARAPET WALL
- ◊ EXISTING SHORT CIRCULAR ROOF WALL
- ◊ EXISTING ROOF CIRCULAR WALL CAP
- ◊ EXISTING FULL HEIGHT DEMISING WALL BELOW
- ◊ PROPOSED ROOF TOP UNITS WITH CHARCOAL FILTERS
- ◊ PROPOSED ROOF VENTS FROM NEW PLUMBING FIXTURES BELOW

ROOF PLAN LEGEND

- DIMENSION TO FACE OF STUD. COLUMN OR WALL
- ◊ ROOF KEYNOTE SYMBOL
- H.P. HIGH POINT
- L.P. LOW POINT
- DIRECTION OF ROOF SLOPE
- ⊕ EXTENSION ELEVATION DETAIL NUMBER
- ⊖ EXTENSION ELEVATION SHEET NUMBER



CUP 18-07 AMENDMENT

APN: 044-701-013
2433 MARSHALL ROAD, SUITE 1
IMPERIAL, CA 92251

| REVISION | ITEM | DATE |
|----------|------|------|
| ▲ | | |
| ▲ | | |
| ▲ | | |
| ▲ | | |

| THIS SET | ISSUE DATE |
|--|------------|
| <input type="checkbox"/> SCHEMATIC | _____ |
| <input type="checkbox"/> DESIGN DEV. | _____ |
| <input checked="" type="checkbox"/> PERMIT SUBMITTAL | 12/1/2020 |
| <input type="checkbox"/> PLAN CHECK 1 | _____ |
| <input type="checkbox"/> PLAN CHANGE 1 | _____ |
| <input type="checkbox"/> CONSTRUCTION | _____ |
| <input type="checkbox"/> AS-BUILT | _____ |

EXISTING ROOF PLAN, LEGEND & KEYNOTES

TRH PROJECT#: 348-20
SCALE: AS NOTED
DRAWN BY: TRH
DATE DRAWN: 10/21/2020
CHECKED BY: KDS

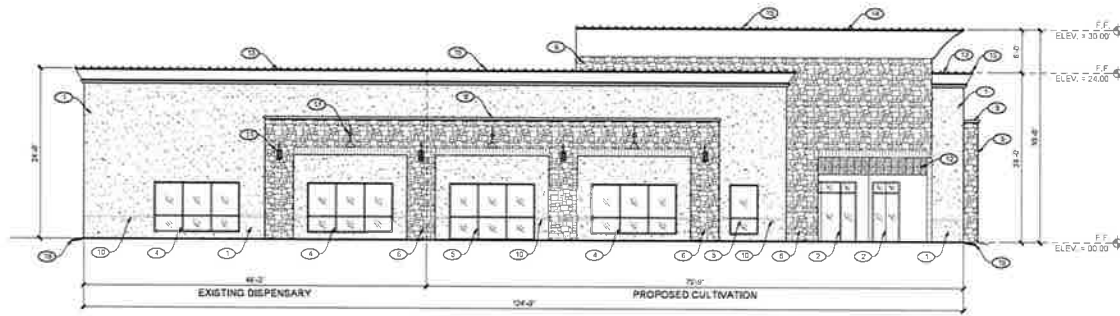
SHEET 7 OF 8

A2.5

ALL DESIGN, CONSTRUCTION, AND OTHER SERVICES ARE PROVIDED BY THE ARCHITECT AND SHALL BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ARCHITECT'S STANDARD CONDITIONS OF CONTRACT. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.



WEST EXTERIOR ELEVATION

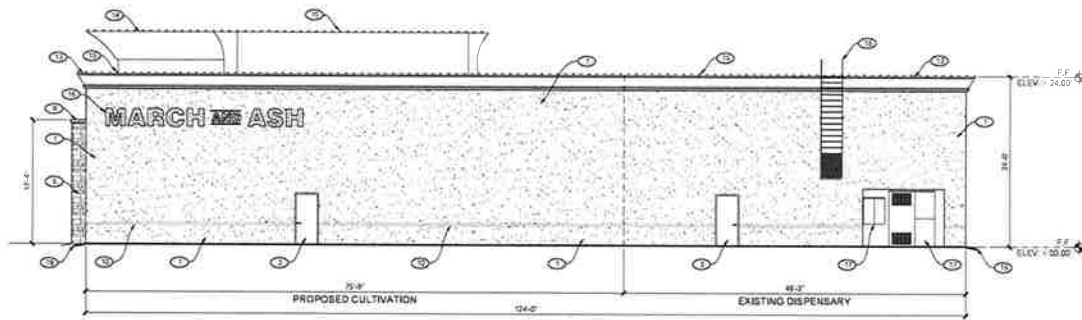


1 ELEVATION KEYNOTES

- 1 EXISTING EXTERIOR WALL SMOOTH STUCCO FINISH + SAND COLOR
- 2 EXISTING EXTERIOR STOREFRONT DOOR - STAINLESS STEEL
- 3 EXISTING EXTERIOR METAL DOOR + BROWN
- 4 EXISTING EXTERIOR WINDOW
- 5 EXISTING EXTERIOR STOREFRONT WINDOW
- 6 EXISTING EXTERIOR STONE VENEER + NATURAL STONE TONES
- 7 EXISTING EXTERIOR ROLLUP DOOR
- 8 EXISTING EXTERIOR GLASS DOORS
- 9 EXISTING EXTERIOR STONE CAP ABOVE STONE VENEER - BEIGE
- 10 EXISTING EXTERIOR 2" WIDE HORIZONTAL REVEAL LINE + STAINLESS STEEL
- 11 EXISTING EXTERIOR WALL MOUNTED LED LIGHT FIXTURE
- 12 EXISTING EXTERIOR STAINED WOOD FACIA + MEDIUM BROWN
- 13 EXISTING EXTERIOR ROOF PARAPET CORNICE - LIGHT BEIGE
- 14 EXISTING EXTERIOR ROOF CIRCULAR ELEMENT - STUCCO
- 15 EXISTING EXTERIOR STRING LIGHT FIXTURES
- 16 EXISTING EXTERIOR ILLUMINATED WALL SIGNAGE
- 17 EXISTING EXTERIOR ELECTRICAL EQUIPMENT
- 18 EXISTING EXTERIOR ROOF ACCESS LADDER
- 19 EXISTING EXTERIOR NATURAL GRADE

SCALE 1/8" = 1'-0"

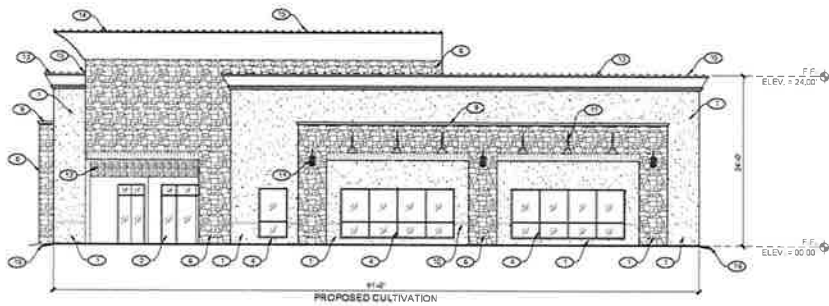
EAST EXTERIOR ELEVATION



2

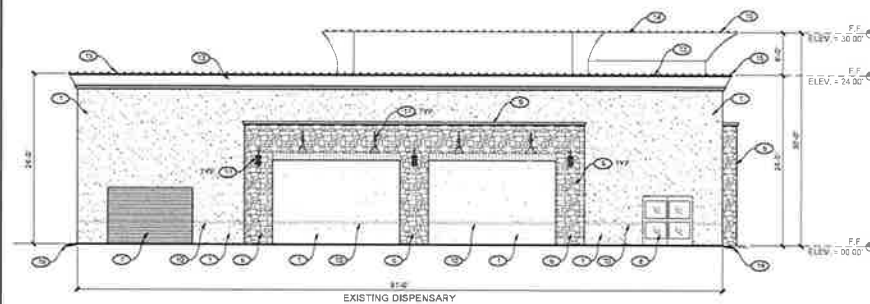
SCALE 1/8" = 1'-0"

SOUTH EXTERIOR ELEVATION



SCALE 1/8" = 1'-0"

4 NORTH EXTERIOR ELEVATION



SCALE 1/8" = 1'-0"

3



APPLICANT:

MARCH & ASH
 2835 CAMINO DEL RIO SOUTH
 SUITE 229
 SAN DIEGO, CA 92108

PROJECT:
**CUP 18-07
 AMENDMENT**

APN: 044-701-013
 2433 MARSHALL ROAD, SUITE 1
 IMPERIAL, CA 92251

| REVISION | ITEM | DATE |
|----------|------|------|
| ▲ | | |
| ▲ | | |
| ▲ | | |
| ▲ | | |

| THIS SET | ISSUE DATE |
|--|------------|
| <input type="checkbox"/> SCHEMATIC | |
| <input type="checkbox"/> DESIGN DEV. | |
| <input checked="" type="checkbox"/> PERMIT SUBMITTAL | 12/1/2020 |
| <input type="checkbox"/> PLAN CHECK 1 | |
| <input type="checkbox"/> PLAN CHANGE 1 | |
| <input type="checkbox"/> CONSTRUCTION | |
| <input type="checkbox"/> AS-BUILT | |

SHEET TITLE / CONTENTS
**PROPOSED
 EXTERIOR
 ELEVATIONS,
 SIGN PLAN &
 KEYNOTES**

TRH PROJECT#: 349-20
 SCALE: AS NOTED
 DRAWN BY: TRH
 DATE DRAWN: 10/21/2020
 CHECKED BY: KDS

SHEET # OF #

A4.1

ALL ARCHITECTURAL, ENGINEERING, AND OTHER SERVICES ARE PROVIDED BY THE ARCHITECT OR ENGINEER AS SHOWN ON THESE PLANS. THE ARCHITECT OR ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT MAY OCCUR DURING CONSTRUCTION. THE ARCHITECT OR ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT MAY OCCUR DURING CONSTRUCTION. THE ARCHITECT OR ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CONSTRUCTION DEFECTS OR OMISSIONS THAT MAY OCCUR DURING CONSTRUCTION.